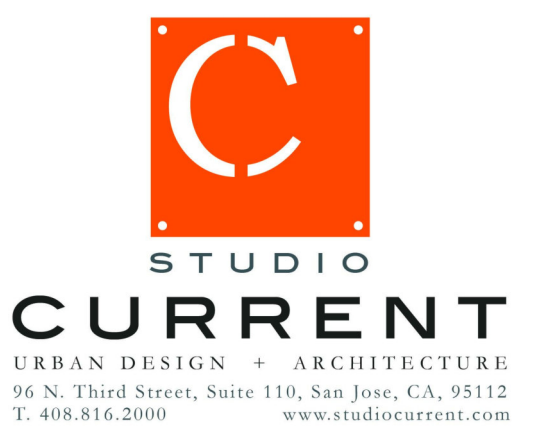




Render view from June 2023

# RESIDENTIAL APARTMENT PROPOSAL

## 940 WILLOW STREET

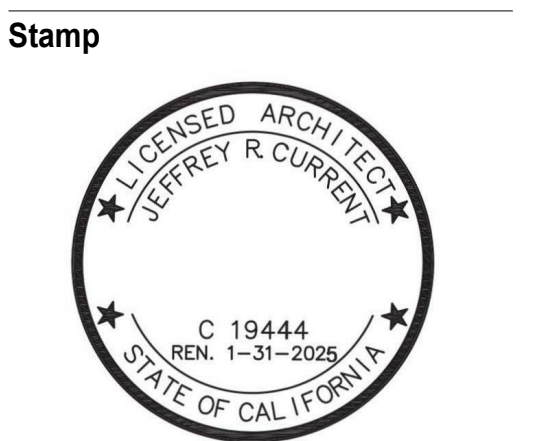


Project:  
**940 Willow Street**  
Mixed Use Proposal  
Consultant

REFERENCE FILE # PRE23-089  
SUBMITTED ON JUNE 12, 2023

**H23-030  
SITE DEVELOPMENT  
PERMIT**

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023



**Stamp**

**Sheet Information**

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1" = 300'-0"
<b>Sheet Title</b>	

COVER SHEET

# 000-IDX

### SHEET INDEX

COVER	
000-IDX	COVER SHEET
ARCHITECTURE	
001-TS	TITLE SHEET
002-A	AREA SEPARATION
003A-G	CODE ANALYSIS
003B-G	CODE ANALYSIS
003C-G	CODE ANALYSIS
004-G	GENERAL DEVELOPMENT PLAN
005-E	EXISTING SITE PLAN & PHOTOS
006-S	PROPOSED GROUND FLOOR & SITE PLAN
007-A	LEVEL 2 & 3 FLOOR PLAN
008-A	LEVEL 4 & 5 FLOOR PLAN
009-A	LEVEL 6 & 7 FLOOR PLAN
010-A	ROOF PLAN & SECTIONS
011-A	LIGHTING PLAN
012-A	EXTERIOR ELEVATIONS
013-A	EXTERIOR ELEVATIONS
014A-A	EXTERIOR ELEVATIONS
014B-A	OPENINGS ANALYSIS
014C-A	ELEVATIONS ANALYSIS
015-A	TYPICAL UNIT LAYOUT
016-A	PROPOSED BUILDING 3D PERSPECTIVES
017-A	SIGNAGE
CIVIL	
018-C	EXISTING CONDITIONS AND DEMOLITION PLAN
019-C	GRADING & UTILITY PLAN
020-C	CONCEPTUAL STORMWATER PLAN
021-C	CONCEPTUAL STORMWATER PLAN DETAILS
022-C	CROSS SECTION
023-F	FIRE ACCESS PLAN
LANDSCAPE	
024-L	LANDSCAPE MATERIALS PLAN - GROUND LEVEL
025-L	LANDSCAPE MATERIALS PLAN - LEVEL 3
026L	LANDSCAPE MATERIALS PLAN - LEVEL 6 & 7
027-L	HYDROZONE PLAN - GROUND LEVEL
028-L	HYDROZONE PLAN - LEVEL 3
029-L	HYDROZONE PLAN - LEVEL 6 & 7
030-L	PLANTING PLAN - GROUND LEVEL
031-L	PLANTING PLAN - LEVEL 3
032-L	PLANTING PLAN - LEVEL 6 & 7
033-L	IRRIGATION PLAN - GROUND LEVEL
034-L	IRRIGATION PLAN - PODIUM LEVEL
035-L	IRRIGATION PLAN - ROOF PLANS

### PROJECT TEAM

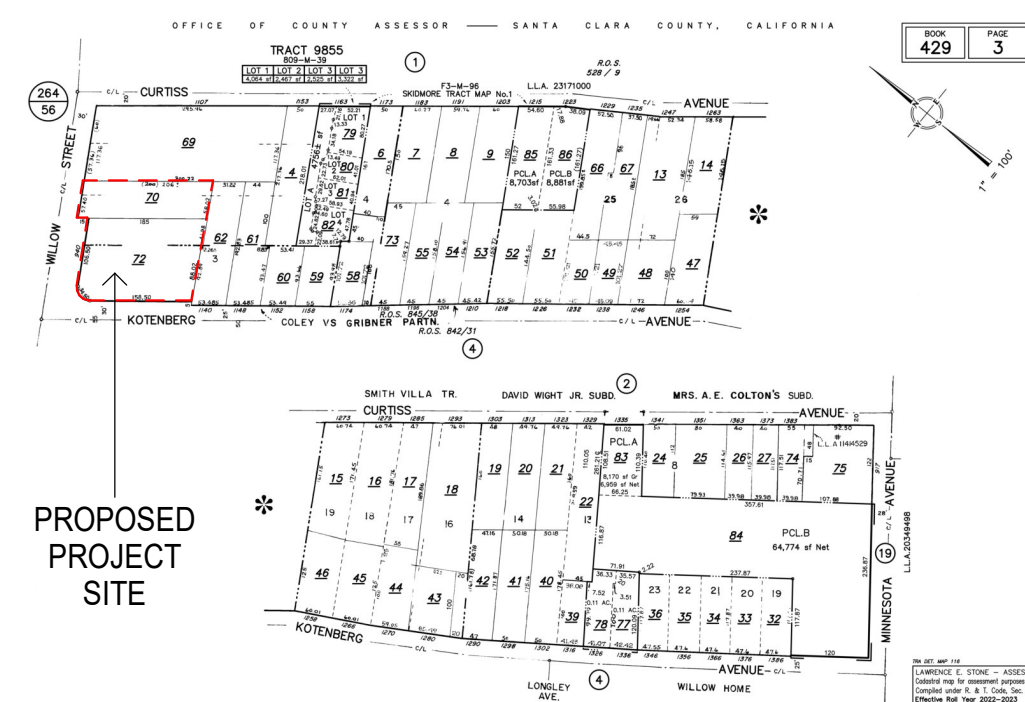
**OWNER**  
CHRIS FREISE  
REDCO DEVELOPMENT  
PHONE: (415) 450 1466  
EMAIL: cfreise@redcodevelopment.com

**ARCHITECT**  
STUDIO CURRENT  
96, N. RD STREET  
PHONE: (408) 205 1126  
EMAIL: jeff@studiocurrent.com

**LANDSCAPE**  
SAW SPIEGEL AIHARA WORKSHOP  
2325 3RD ST #216  
PHONE: (415) 545 8577  
EMAIL: megumi@s-a-works.com

**CIVIL**  
HMH  
1570 OAKLAND RD  
PHONE: (408) 487 2200  
EMAIL: medforge@hnhca.com

### APN MAP



### VICINITY MAP



REFERENCE FILE # PRE23-089 SUBMITTED ON JUNE 12 PROJECT INFORMATION ( SHOWN FOR REFERENCE ONLY )



CITY OF SAN JOSE CURRENT ZONING /GENERAL PLAN STANDARDS	PROPOSED PROJECT DATA ( CA GOV CODE 65589.5(D)(5) "BUILDER'S REMEDY"	UNIT BREAK UP PER FLOOR	UNIT MIX DIAGRAM	SITE DATA																																																						
<p><b>SITE LOCATION</b> 940 WILLOW STREET SAN JOSE CA, 95125</p> <p><b>ZONING :</b> COMMUNITY NEIGHBORHOOD (CN)</p> <p><b>MINIMUM SETBACK</b></p> <p>FRONT 10' SIDE, INTERIOR NONE REAR, CORNER NONE REAR, INTERIOR NONE</p> <p><b>MAXIMUM HEIGHT</b> 50'</p> <p><b>GENERAL PLAN</b> NEIGHBORHOOD / COMMUNITY COMMERCIAL (NCC)</p> <p><b>NUMBER OF STORIES ALLOWED</b> 1 TO 5 STORIES</p> <p><b>DENSITY</b> F.A.R UP TO 3.5</p>	<p><b>PROJECT DESCRIPTION</b> CA GOV CODE 65589.5(D)(5) "BUILDER'S REMEDY": THIS PROJECT IS LOCATED AT 940 WILLOW STREET, AT THE CORNER OF KOTENBERG AVENUE AND WILLOW STREET. IT CONSISTS OF 126 UNITS UTILIZING THE STATE DENSITY BONUS. THE BUILDING IS SEVEN STORIES WITH FIVE LEVELS OF TYPE 3A OVER TWO LEVELS OF TYPE 1A . THERE ARE 135 PARKING SPACES.</p> <p><b>CONSTRUCTION TYPE</b> PODIUM (5 FLOORS OF WOOD OVER 2 FLOORS OF CONCRETE) TYPE 1A (GROUND FLOOR, 2ND FLOOR) TYPE 3A (3RD TO 7TH FLOOR)</p> <p><b>NUMBER OF STORIES PROPOSED</b> 7</p> <p><b>PROPOSED HEIGHT</b> 75'</p> <p><b>OCCUPANCY TYPE</b> RESIDENTIAL R-2 PARKING S-2 MERCANTILE M</p> <p><b>PROPOSED DENSITY</b> FAR 5.26 DENSITY 157.5 D.U./ACRE</p> <p><b>PROPOSED NUMBER OF UNITS</b> STUDIO 52 ONE BEDROOM 60 TWO BEDS 20 THREE BED TH. 4 <b>TOTAL 126 UNITS</b></p> <p><b>PARKING PROVIDED</b> GROUND FLOOR 64 SPACES SECOND FLOOR 71 SPACES <b>TOTAL 135 SPACES PROV'D (100%)</b></p>	<p><b>LEVEL 1 &amp; 2</b> 3 BED TH 4 TOTAL 4 UNITS</p> <p><b>LEVEL 3</b> STUDIO 10 1 BED 10 2 BEDS 5 TOTAL 25 UNITS</p> <p><b>LEVEL 4</b> STUDIO 10 1 BED 10 2 BEDS 5 TOTAL 25 UNITS</p> <p><b>LEVEL 5</b> STUDIO 10 1 BED 11 2 BEDS 5 TOTAL 26 UNITS</p> <p><b>LEVEL 6</b> STUDIO 11 1 BED 10 2 BEDS 2 TOTAL 23 UNITS</p> <p><b>LEVEL 7</b> STUDIO 11 1 BED 10 2 BEDS 2 TOTAL 23 UNITS</p> <p><b>TOTAL NUMBER OF UNITS 126 UNITS (100%)</b></p>	<p><b>UNIT MIX</b></p>	<p>SITE AREA (SF) 34,797 SF SITE AREA (ACRES) 0.8 AC LOT COVERAGE (SF) 33,690 SF LOT COVERAGE (%) 96.6% FAR 5.26 DENSITY (D.U./ACRE) 157.5 D.U./ACRE NET RESIDENTIAL LEASABLE (SF) 94,747 SF NET RETAIL LEASABLE (SF) 1,799 SF GARAGE AREA 56,169 SF</p> <p><b>APPLICABLE CODES &amp; STANDARDS</b> 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA FIRE CODE (CFC) 2022 CALIFORNIA GREEN BUILDING STANDARD CODE (CGBSC) 2022 CALIFORNIA ENERGY CODE (CENRC)</p>																																																						
		<p><b>AREA BREAK UP</b></p> <table border="1"> <thead> <tr> <th>LEVELS</th> <th>GARAGE</th> <th>RETAIL</th> <th>CIRCULATION</th> <th>RESIDENTIAL ( NET)</th> <th>AMENITY</th> </tr> </thead> <tbody> <tr> <td>LEVEL 1</td> <td>27,732 SF</td> <td>1,799 SF</td> <td></td> <td>3,378 SF</td> <td></td> </tr> <tr> <td>LEVEL 2</td> <td>28,437 SF</td> <td></td> <td></td> <td>3,378 SF</td> <td></td> </tr> <tr> <td>LEVEL 3</td> <td></td> <td></td> <td>2,773 SF</td> <td>18,250 SF</td> <td>12,768 SF</td> </tr> <tr> <td>LEVEL 4</td> <td></td> <td></td> <td>2,773 SF</td> <td>18,250 SF</td> <td></td> </tr> <tr> <td>LEVEL 5</td> <td></td> <td></td> <td>2,773 SF</td> <td>18,948 SF</td> <td></td> </tr> <tr> <td>LEVEL 6</td> <td></td> <td></td> <td>2,548 SF</td> <td>16,272 SF</td> <td>2,843 SF</td> </tr> <tr> <td>LEVEL 7</td> <td></td> <td></td> <td>2,548 SF</td> <td>16,272 SF</td> <td></td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>56,169 SF</b></td> <td><b>1,799 SF</b></td> <td><b>13,415 SF</b></td> <td><b>94,747 SF</b></td> <td><b>15,611 SF</b></td> </tr> </tbody> </table>		LEVELS	GARAGE	RETAIL	CIRCULATION	RESIDENTIAL ( NET)	AMENITY	LEVEL 1	27,732 SF	1,799 SF		3,378 SF		LEVEL 2	28,437 SF			3,378 SF		LEVEL 3			2,773 SF	18,250 SF	12,768 SF	LEVEL 4			2,773 SF	18,250 SF		LEVEL 5			2,773 SF	18,948 SF		LEVEL 6			2,548 SF	16,272 SF	2,843 SF	LEVEL 7			2,548 SF	16,272 SF		<b>TOTAL</b>	<b>56,169 SF</b>	<b>1,799 SF</b>	<b>13,415 SF</b>	<b>94,747 SF</b>	<b>15,611 SF</b>	<p><b>PROJECT TOTAL: 183,741 SF (100%)</b></p>
LEVELS	GARAGE	RETAIL	CIRCULATION	RESIDENTIAL ( NET)	AMENITY																																																					
LEVEL 1	27,732 SF	1,799 SF		3,378 SF																																																						
LEVEL 2	28,437 SF			3,378 SF																																																						
LEVEL 3			2,773 SF	18,250 SF	12,768 SF																																																					
LEVEL 4			2,773 SF	18,250 SF																																																						
LEVEL 5			2,773 SF	18,948 SF																																																						
LEVEL 6			2,548 SF	16,272 SF	2,843 SF																																																					
LEVEL 7			2,548 SF	16,272 SF																																																						
<b>TOTAL</b>	<b>56,169 SF</b>	<b>1,799 SF</b>	<b>13,415 SF</b>	<b>94,747 SF</b>	<b>15,611 SF</b>																																																					

Project:  
**940 Willow Street**  
Mixed Use Proposal  
Consultant

REFERENCE FILE # PRE23-089 SUBMITTED ON JUNE 12, 2023

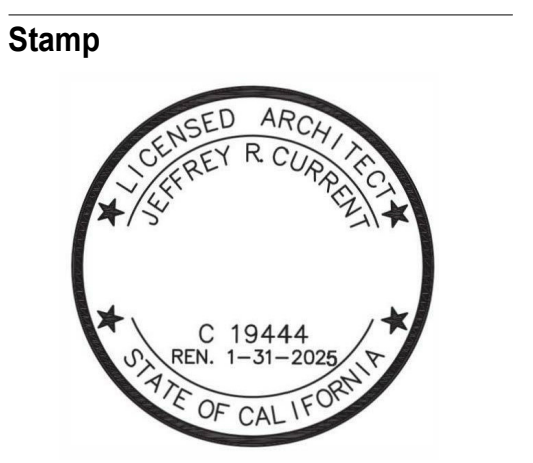
CURRENT SUBMISSION ( CHANGES SHOWN IN BLUE TEXT)

CITY OF SAN JOSE CURRENT ZONING /GENERAL PLAN STANDARDS	PROPOSED PROJECT DATA ( CA GOV CODE 65589.5(D)(5) "BUILDER'S REMEDY"	UNIT BREAK UP PER FLOOR	UNIT MIX DIAGRAM	SITE DATA																																																																
<p><b>SITE LOCATION</b> 940 WILLOW STREET SAN JOSE CA, 95125</p> <p><b>ZONING :</b> COMMUNITY NEIGHBORHOOD (CN)</p> <p><b>MINIMUM SETBACK</b></p> <p>FRONT 10' SIDE, INTERIOR NONE REAR, CORNER NONE REAR, INTERIOR NONE</p> <p><b>MAXIMUM HEIGHT</b> 50'</p> <p><b>GENERAL PLAN</b> NEIGHBORHOOD / COMMUNITY COMMERCIAL (NCC)</p> <p><b>NUMBER OF STORIES ALLOWED</b> 1 TO 5 STORIES</p> <p><b>DENSITY</b> F.A.R UP TO 3.5</p>	<p><b>PROJECT DESCRIPTION</b> CA GOV CODE 65589.5(D)(5) "BUILDER'S REMEDY": THIS PROJECT IS LOCATED AT 940 WILLOW STREET, AT THE CORNER OF KOTENBERG AVENUE AND WILLOW STREET. IT CONSISTS OF 126 UNITS UTILIZING THE STATE DENSITY BONUS. THE BUILDING IS SEVEN STORIES WITH FIVE LEVELS OF TYPE 3A OVER TWO LEVELS OF TYPE 1A . THERE ARE 135 PARKING SPACES.</p> <p><b>CONSTRUCTION TYPE</b> PODIUM (5 FLOORS OF WOOD OVER 2 FLOORS OF CONCRETE) TYPE 1A (GROUND FLOOR, 2ND FLOOR) TYPE 3A (3RD TO 7TH FLOOR)</p> <p><b>NUMBER OF STORIES PROPOSED</b> 7</p> <p><b>PROPOSED HEIGHT</b> 75'</p> <p><b>OCCUPANCY TYPE</b> RESIDENTIAL R-2 PARKING S-2 MERCANTILE M</p> <p><b>PROPOSED DENSITY</b> FAR 5.26 DENSITY 157.5 D.U./ACRE</p> <p><b>PROPOSED NUMBER OF UNITS</b> STUDIO 52 ONE BEDROOM 60 TWO BEDS 20 THREE BED TH. 4 <b>TOTAL 126 UNITS</b></p> <p>26 OF THESE UNITS ARE AFFORDABLE UNITS ( 20.6%)</p> <p><b>PARKING PROVIDED</b> GROUND FLOOR 60 SPACES SECOND FLOOR 67 SPACES <b>TOTAL 127 SPACES PROV'D 94.1%</b></p> <p>SEE SHEET 006-S COMMERCIAL SPACES @ 1 PER 200 SF = 1626/200 = 8.13 = 9 SPACES</p> <p>BIKE PARKING PROVIDED SEE SHEET 006-S COMMERCIAL SPACES @ 1 PER 3000 SF = 1626/3000 = .54 = 1 SPACE <b>LESS THAN 20% CHANGES</b></p>	<p><b>LEVEL 1 &amp; 2</b> 3 BED TH 4 TOTAL 4 UNITS</p> <p><b>LEVEL 3</b> STUDIO 10 1 BED 10 2 BEDS 4 TOTAL 24 UNITS</p> <p><b>LEVEL 4</b> STUDIO 9 1 BED 10 2 BEDS 6 TOTAL 25 UNITS</p> <p><b>LEVEL 5</b> STUDIO 9 1 BED 10 2 BEDS 7 TOTAL 26 UNITS</p> <p><b>LEVEL 6</b> STUDIO 12 1 BED 11 2 BEDS 1 TOTAL 24 UNITS</p> <p><b>LEVEL 7</b> STUDIO 12 1 BED 9 2 BEDS 2 TOTAL 23 UNITS</p> <p><b>TOTAL NUMBER OF UNITS 126 UNITS 100%</b></p> <p>LESS THAN 20% CHANGES</p>	<p><b>UNIT MIX</b></p>	<p>SITE AREA (SF) 34,797 SF SITE AREA (ACRES) 0.8 AC LOT COVERAGE (SF) 32,476 SF LOT COVERAGE (%) 96.81% FAR 5.26 DENSITY (D.U./ACRE) 157.5 D.U./ACRE NET RESIDENTIAL LEASABLE (SF) 78,440 SF NET RETAIL LEASABLE (SF) 1626 SF GARAGE AREA 45,808 SF</p> <p>THIS PROJECT WILL BE IN COMPLIANCE WITH THE SAN JOSE REACH CODE</p> <p><b>APPLICABLE CODES &amp; STANDARDS</b> 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA FIRE CODE (CFC) 2022 CALIFORNIA GREEN BUILDING STANDARD CODE (CGBSC) 2022 CALIFORNIA ENERGY CODE (CENRC)</p>																																																																
		<p><b>AREA BREAK UP</b></p> <table border="1"> <thead> <tr> <th>BUILDING TYPE</th> <th>LEVELS</th> <th>GARAGE</th> <th>RETAIL</th> <th>CIRCULATION</th> <th>RESIDENTIAL ( NET)</th> <th>AMENITY</th> </tr> </thead> <tbody> <tr> <td rowspan="3">TYPE IA</td> <td>LEVEL 1</td> <td>23,455 SF</td> <td>1,626 SF</td> <td>1,172 SF</td> <td>2,304 SF</td> <td>853 SF</td> </tr> <tr> <td>LEVEL 2</td> <td>22,353 SF</td> <td></td> <td>1,333 SF</td> <td>2,572 SF</td> <td>929 SF</td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>45,808 SF</b></td> <td><b>1,626 SF</b></td> <td><b>2,505 SF</b></td> <td><b>4,876 SF</b></td> <td><b>1,782 SF</b></td> </tr> <tr> <td rowspan="5">TYPE IIIA</td> <td>LEVEL 3</td> <td></td> <td></td> <td>3,639 SF</td> <td>14,923 SF</td> <td>12,823 SF</td> </tr> <tr> <td>LEVEL 4</td> <td></td> <td></td> <td>3,232 SF</td> <td>16,047 SF</td> <td>932 SF</td> </tr> <tr> <td>LEVEL 5</td> <td></td> <td></td> <td>3,233 SF</td> <td>16,837 SF</td> <td></td> </tr> <tr> <td>LEVEL 6</td> <td></td> <td></td> <td>3,224 SF</td> <td>13,109 SF</td> <td>1,591 SF</td> </tr> <tr> <td>LEVEL 7</td> <td></td> <td></td> <td>3,045 SF</td> <td>12,648 SF</td> <td>807 SF</td> </tr> <tr> <td><b>TOTAL</b></td> <td></td> <td></td> <td><b>16,373 SF</b></td> <td><b>73,564 SF</b></td> <td><b>16,153 SF</b></td> <td><b>106,090 SF</b></td> </tr> </tbody> </table>		BUILDING TYPE	LEVELS	GARAGE	RETAIL	CIRCULATION	RESIDENTIAL ( NET)	AMENITY	TYPE IA	LEVEL 1	23,455 SF	1,626 SF	1,172 SF	2,304 SF	853 SF	LEVEL 2	22,353 SF		1,333 SF	2,572 SF	929 SF	<b>TOTAL</b>	<b>45,808 SF</b>	<b>1,626 SF</b>	<b>2,505 SF</b>	<b>4,876 SF</b>	<b>1,782 SF</b>	TYPE IIIA	LEVEL 3			3,639 SF	14,923 SF	12,823 SF	LEVEL 4			3,232 SF	16,047 SF	932 SF	LEVEL 5			3,233 SF	16,837 SF		LEVEL 6			3,224 SF	13,109 SF	1,591 SF	LEVEL 7			3,045 SF	12,648 SF	807 SF	<b>TOTAL</b>			<b>16,373 SF</b>	<b>73,564 SF</b>	<b>16,153 SF</b>	<b>106,090 SF</b>	<p><b>PROJECT TOTAL 45,808 SF 1626 SF 18,878 SF 78,440 SF 17,935 SF 162,687 SF 88.5% LESS THAN 20% CHANGES</b></p>
BUILDING TYPE	LEVELS	GARAGE	RETAIL	CIRCULATION	RESIDENTIAL ( NET)	AMENITY																																																														
TYPE IA	LEVEL 1	23,455 SF	1,626 SF	1,172 SF	2,304 SF	853 SF																																																														
	LEVEL 2	22,353 SF		1,333 SF	2,572 SF	929 SF																																																														
	<b>TOTAL</b>	<b>45,808 SF</b>	<b>1,626 SF</b>	<b>2,505 SF</b>	<b>4,876 SF</b>	<b>1,782 SF</b>																																																														
TYPE IIIA	LEVEL 3			3,639 SF	14,923 SF	12,823 SF																																																														
	LEVEL 4			3,232 SF	16,047 SF	932 SF																																																														
	LEVEL 5			3,233 SF	16,837 SF																																																															
	LEVEL 6			3,224 SF	13,109 SF	1,591 SF																																																														
	LEVEL 7			3,045 SF	12,648 SF	807 SF																																																														
<b>TOTAL</b>			<b>16,373 SF</b>	<b>73,564 SF</b>	<b>16,153 SF</b>	<b>106,090 SF</b>																																																														

H23-030 SITE DEVELOPMENT PERMIT

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023



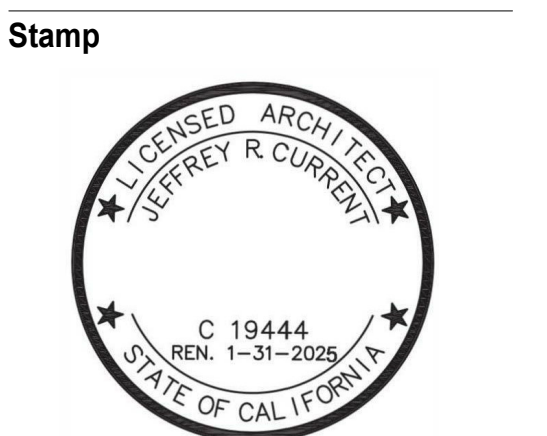
Sheet Information

Issue Date 12/01/2023  
Job Number Project Number  
Drawn Author  
Checked Checker  
Approved Designer  
Scale  
Sheet Title  
**TITLE SHEET**

001-TS

**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

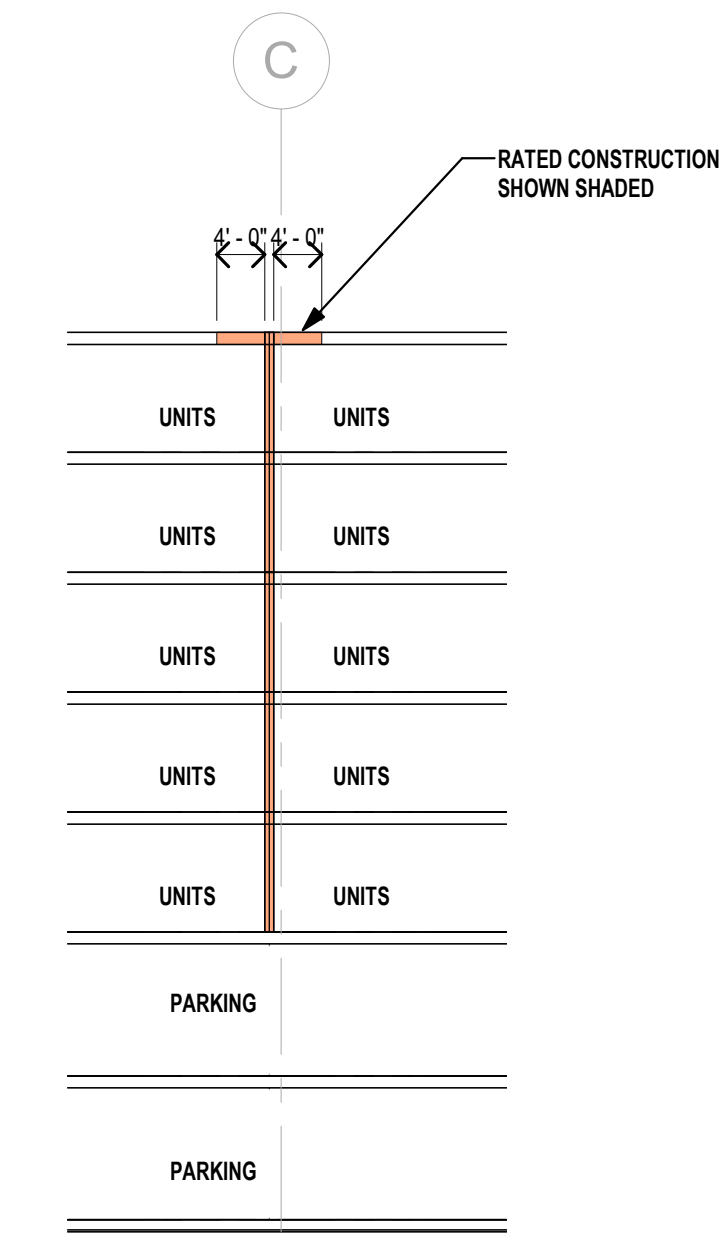
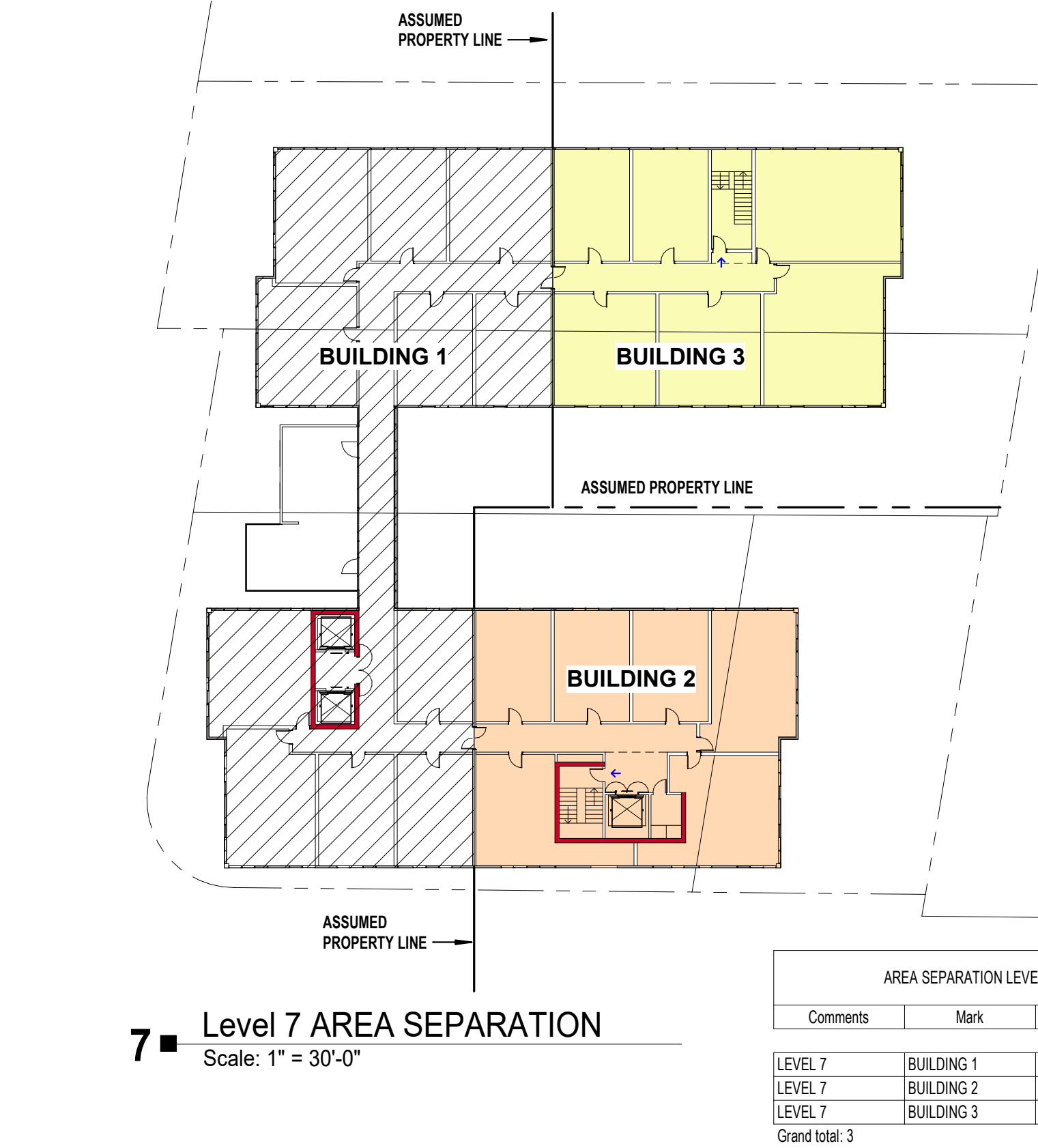
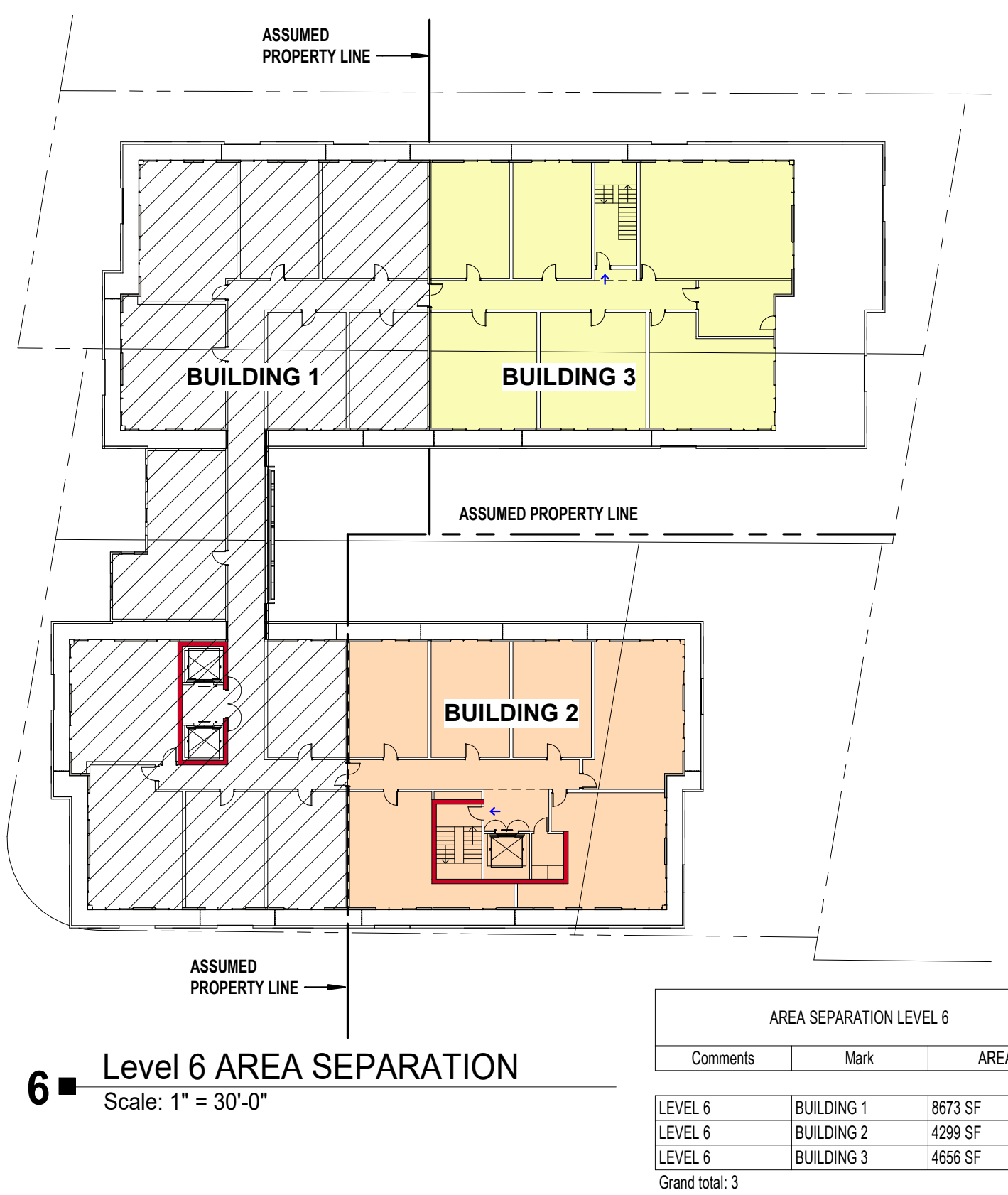
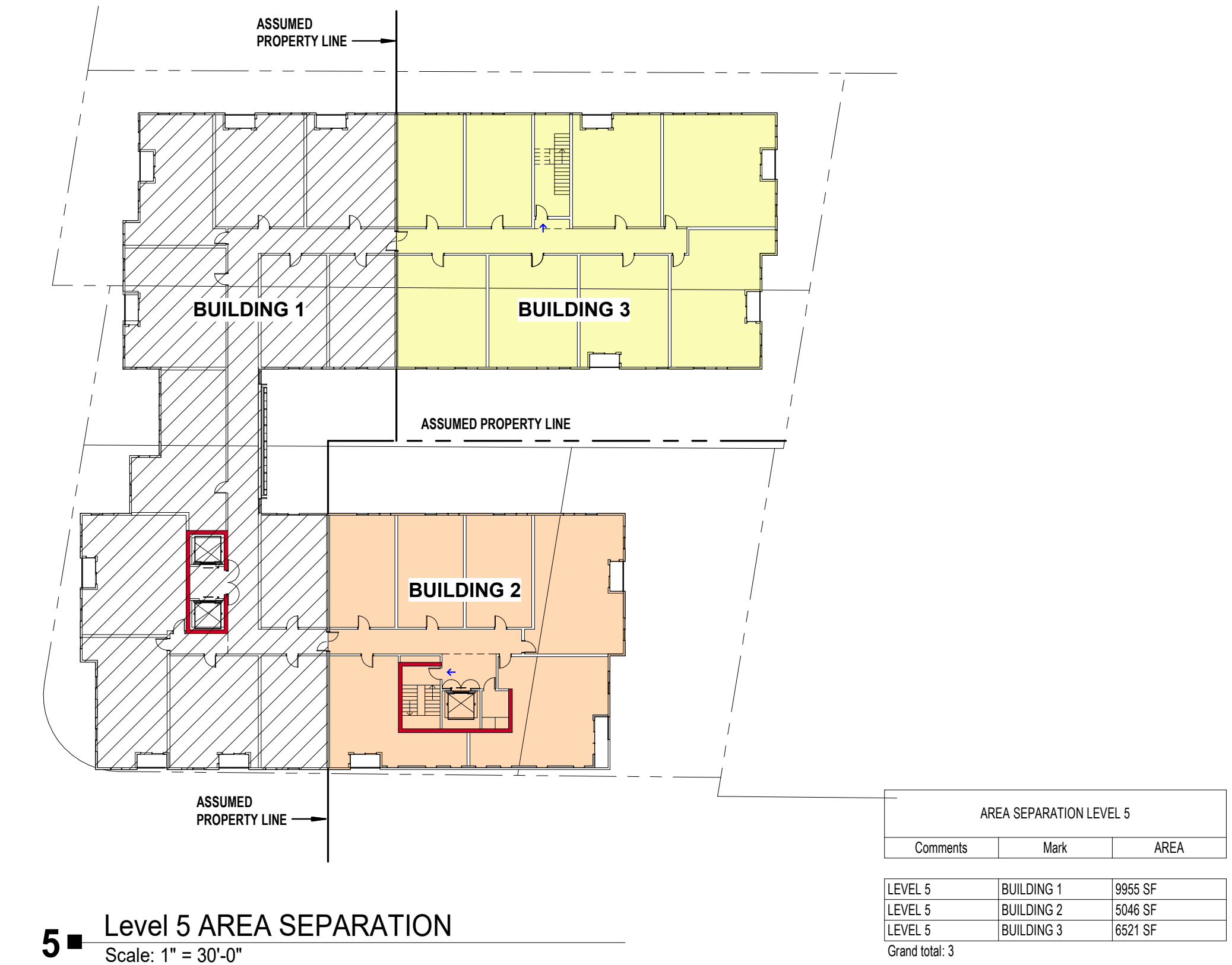
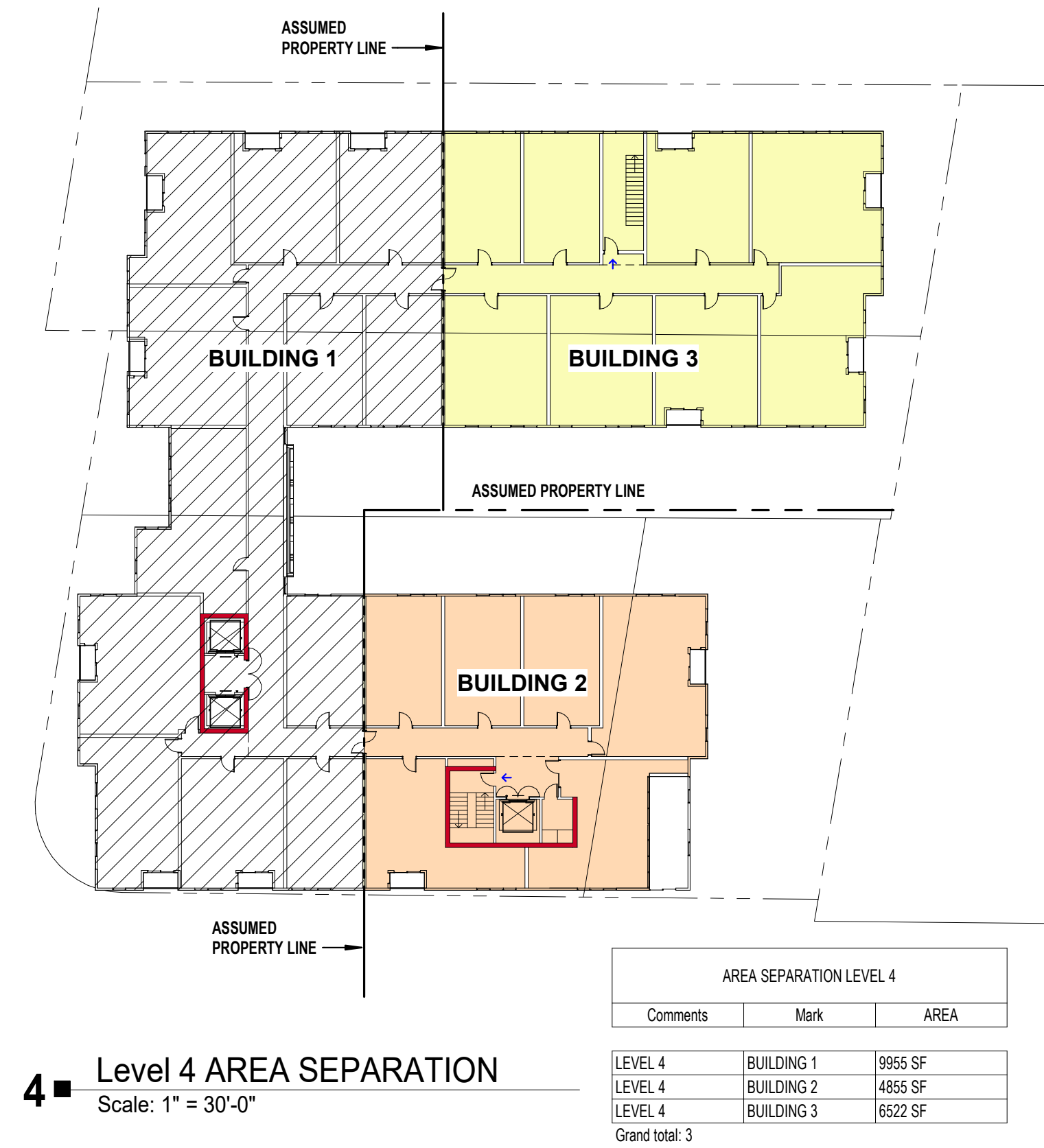
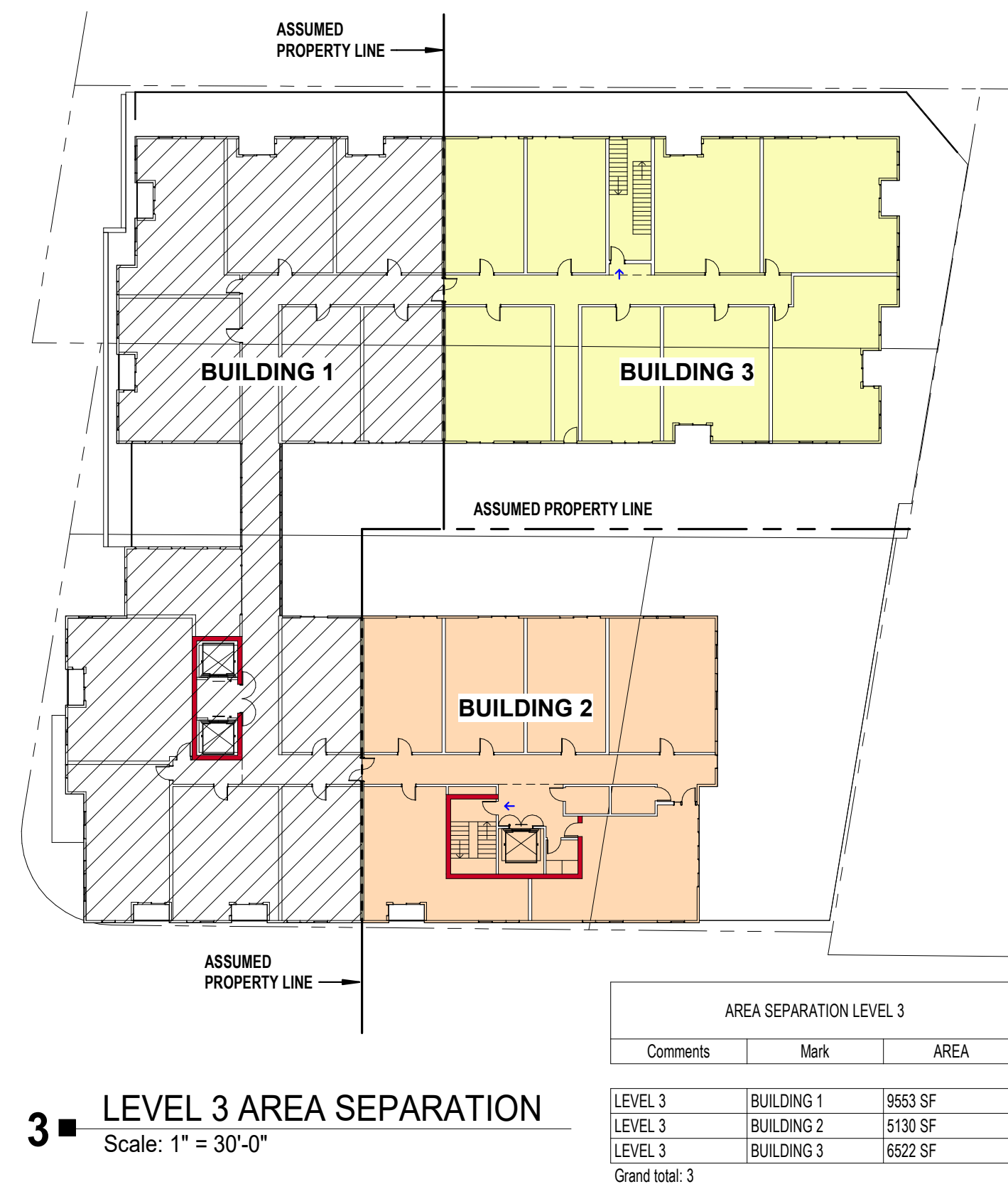
No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023



**Sheet Information**

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	As indicated

**AREA SEPARATION**



**706.6 VERTICAL CONTINUITY**  
 FIRE WALLS SHALL EXTEND FROM THE FOUNDATION TO A TERMINATION POINT NOT LESS THAN 30 INCHES (762 MM) ABOVE BOTH ADJACENT ROOFS.

**EXCEPTIONS:**  
 STEPPED BUILDINGS IN ACCORDANCE WITH SECTION 706.6.1.  
 TWO-HOUR FIRE-RESISTANCE-RATED WALLS SHALL BE PERMITTED TO TERMINATE AT THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB, PROVIDED THAT:  
 THE LOWER ROOF ASSEMBLY WITHIN 4 FEET (1220 MM) OF THE WALL HAS NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING AND THE ENTIRE LENGTH AND SPAN OF SUPPORTING ELEMENTS FOR THE RATED ROOF ASSEMBLY HAS A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR.  
 OPENINGS IN THE ROOF SHALL NOT BE LOCATED WITHIN 4 FEET (1220 MM) OF THE FIRE WALL.  
 EACH BUILDING SHALL BE PROVIDED WITH NOT LESS THAN A CLASS B ROOF COVERING.

PER EQUATION 5-2: EACH BUILDING AREA IS 24,000 X 2 = 48,000 SF MAX

AREA SEPARATION- BUILDING 1		
Comments	Mark	AREA
LEVEL 3	BUILDING 1	9553 SF
LEVEL 4	BUILDING 1	9955 SF
LEVEL 5	BUILDING 1	9955 SF
LEVEL 6	BUILDING 1	8673 SF
LEVEL 7	BUILDING 1	7882 SF
5		46716 SF

AREA SEPARATION- BUILDING 2		
Comments	Mark	AREA
LEVEL 3	BUILDING 2	5130 SF
LEVEL 4	BUILDING 2	4855 SF
LEVEL 5	BUILDING 2	5046 SF
LEVEL 6	BUILDING 2	4289 SF
LEVEL 7	BUILDING 2	4300 SF
5		23830 SF

AREA SEPARATION- BUILDING 3		
Comments	Mark	AREA
LEVEL 3	BUILDING 3	6522 SF
LEVEL 4	BUILDING 3	6522 SF
LEVEL 5	BUILDING 3	6521 SF
LEVEL 6	BUILDING 3	4656 SF
LEVEL 7	BUILDING 3	4657 SF
5		28878 SF

**TABLE 504.3**  
**ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE <sup>a,1</sup>**

OCCUPANCY CLASSIFICATION	See Footnotes	TYPE OF CONSTRUCTION											
		Type I		Type II		Type III		Type IV		Type V			
		A	B	A	B	A	B	A	B	C	HT		
NS <sup>d</sup>	UL	160	65	55	65	55	65	65	65	65	65	50	40
		S13R	60	60	60	55	60	55	60	60	60	60	50
S (without area increase)	UL	180	85	75	85	75	270	180	85	85	70	60	
		S (with area increase)	UL	160	65	55	65	55	250	160	65	65	60

**506.2 Allowable Area Determination**

The allowable area of a building shall be determined in accordance with the applicable provisions of Sections 506.2.1, 506.2.2 and 506.3.

**TABLE 506.2**  
**ALLOWABLE AREA FACTOR (A<sub>f</sub> = NS, S1, S13R, S13D or SM, as applicable) IN SQUARE FEET<sup>a,1</sup>**

OCCUPANCY CLASSIFICATION	SEE FOOTNOTES	TYPE OF CONSTRUCTION										
		Type I		Type II		Type III		Type IV		Type V		
		A	B	A	B	A	B	A	B	C	HT	
NS <sup>d</sup>	UL	UL	24,000	16,000	24,000	16,000	61,500	41,000	25,625	20,500	12,000	7,000
		S13R	96,000	64,000	96,000	64,000	246,000	164,000	102,500	82,000	48,000	28,000
SM (without height increase)	UL	UL	72,000	48,000	72,000	48,000	184,500	123,000	76,875	61,500	36,000	21,000
		SM (with height increase)	UL	24,000	16,000	24,000	16,000	61,500	41,000	25,625	20,500	12,000

**506.2.3 Single-Occupancy, Multistory Buildings**

The allowable area of a single-occupancy building with more than one story above grade plane shall be determined in accordance with Equation 5-2:

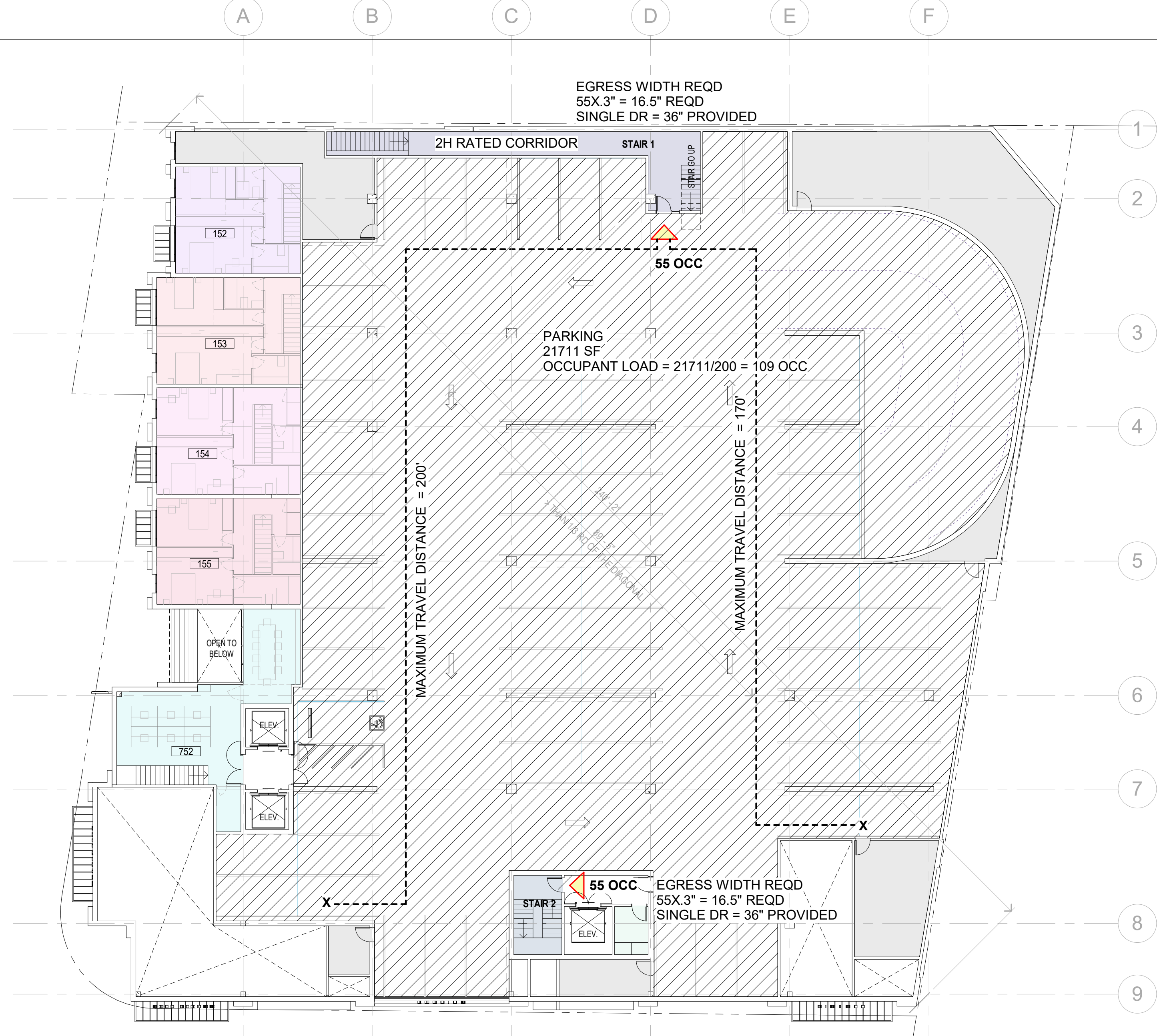
$$A_a = [A_f + (NS \times I_f)] \times S_o \quad \text{(Equation 5-2)}$$

where:  
 A<sub>a</sub> = Allowable area (square feet).  
 A<sub>f</sub> = Tabular allowable area factor (NS, S13R, S13D or SM value, as applicable) in accordance with Table 506.2.  
 NS = Tabular allowable area factor in accordance with Table 506.2 for a nonsprinklered building (regardless of whether the building is sprinklered).  
 I<sub>f</sub> = Area factor increase due to frontage (percent) as calculated in accordance with Section 506.3.  
 S<sub>o</sub> = For other than Group A, E, H, I, L and R occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, actual number of building stories above grade plane, not to exceed three. For Group A, E, H, I, L and R occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, actual number of building stories above grade plane, not to exceed two.  
 No individual story shall exceed the allowable area (A<sub>a</sub>) as determined by Equation 5-2 using the value of S<sub>o</sub> = 1.

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023



Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"



**2 LEVEL 2 CODE ANALYSIS**  
 Scale: 1/16" = 1'-0"

OCCUPANCY TYPE		
CBC 2019 CODE SECTION	BLDG LEVEL	OCCUPANCY TYPE
SECTION 302, 303.1.2,	GROUND LEVEL	LOW HAZARD STORAGE, GROUP S-2, B, U
	LEVEL 2	GROUP S-2, R-2
	LEVEL 3-7	R-2

UNIT TYPE					
Level	Name	Count	Level	Name	Count
Level 1	TH	4	Level 3	1 BDR	10
Level 4	ST	9	Level 4	1 BDR	10
Level 5	ST	9	Level 5	1 BDR	10
Level 6	ST	12	Level 6	1 BDR	11
Level 7	ST	12	Level 7	1 BDR	9
52			50		
			20		

TOTAL = 4+ 52+ 50+ 20 = 126 UNITS

**COMMON OPEN SPACE**

20.55.102 - COMMON AND PRIVATE OPEN SPACE REQUIREMENTS IS THE OUTDOOR SPACE PROVIDED FOR RECREATION OF ALL RESIDENTS OF A PROJECT. EACH RESIDENTIAL OR MIXED USE DEVELOPMENT SHALL COMPLY WITH THE FOLLOWING COMMON OPEN SPACE REQUIREMENTS:

1 MIXED USE DEVELOPMENT PROJECTS SHALL PROVIDE COMMON OPEN SPACE AT A MINIMUM OF 75 SQUARE FEET PER RESIDENTIAL UNIT

Level	Name	Area	REQUIRED = 126 X 75 = 9,450 SF
Level 1	Common Open Space	853 SF	
Level 2	Common Open Space	781 SF	
Level 3	Common Open Space	10587 SF	
Level 4	Common Open Space	679 SF	
Level 6	Common Open Space	1591 SF	
Level 7	Common Open Space	807 SF	
		15268 SF	

**20.55.102 - COMMON AND PRIVATE OPEN SPACE REQUIREMENTS**

IS THE OUTDOOR SPACE ATTACHED TO A LIVING UNIT AND PROVIDED FOR THE USE OF THE RESIDENTS OF THE LIVING UNIT. PRIVATE OPEN SPACE CAN OCCUR IN THE FORM OF A PATIO, BALCONY, DECK, OR REAR YARD. THE PRIVATE OPEN SPACE REQUIREMENT IS CALCULATED BASED ON THE TOTAL NUMBER OF UNITS AND EACH DEVELOPMENT SHALL MEET THE FOLLOWING PRIVATE OPEN SPACE REQUIREMENTS

1 MIXED USE DEVELOPMENT PROJECTS SHALL PROVIDE PRIVATE OPEN SPACE IN THE FOLLOWING MANNER: A STUDIOS AND 1 BEDROOM UNITS SHALL PROVIDE A MINIMUM OF 30 SQUARE FEET PER RESIDENTIAL UNIT; B UNITS WITH 2 OR MORE BEDROOMS SHALL PROVIDE A MINIMUM OF 45 SQUARE FEET PER RESIDENTIAL UNIT.

**PRIVATE OPEN SPACE**

Level	Name	Area	REQUIRED = STUDIO & 1 BDR = 102 X 30 = 3,060 SF = 2 BDR = 21 X 45 = 945 SF TOTAL REQUIRED = 3,060+ 945 = 4,005 SF
Level 3	Private Open Space	1243 SF	
Level 4	Private Open Space	517 SF	
Level 5	Private Open Space	575 SF	
Level 6	Private Open Space	3007 SF	
		5343 SF	

PER 20.55.102(D): DEVELOPMENT PROJECTS MAY REDUCE THEIR PRIVATE OPEN SPACE REQUIREMENT BY UP TO 50% UNDER THE FOLLOWING CONDITIONS: UP TO 50% OF THE TOTAL PRIVATE OPEN SPACE REQUIREMENT MAY BE FULFILLED THROUGH THE DEVELOPMENT OF AN EQUIVALENT AMOUNT OF COMMON OPEN SPACES.

**TABLE 508.4 MIXED OCCUPANCIES**

LEVEL	MIXED OCCUPANCIES	REQUIRED HOURS OF SEPARATION OF OCCUPANCIES
GROUND LEVEL	S2 /B/ R2	1
LEVEL 2	S2 / R-2	1
LEVEL 3	R-2/A3	1
LEVEL 4	R-2/ A3	1
LEVEL 5	R-2	-
LEVEL 6	R-2/A3	1
LEVEL 7	R-2	-

**TABLE 1020.2 CORRIDOR FIRE RATING**

OCCUPANCY TYPE	CORRIDOR WITH SPRINKLER SYSTEM
R-2	1 HOUR IF GREATER THAN 10
S-2	0
A-2	0
B	0

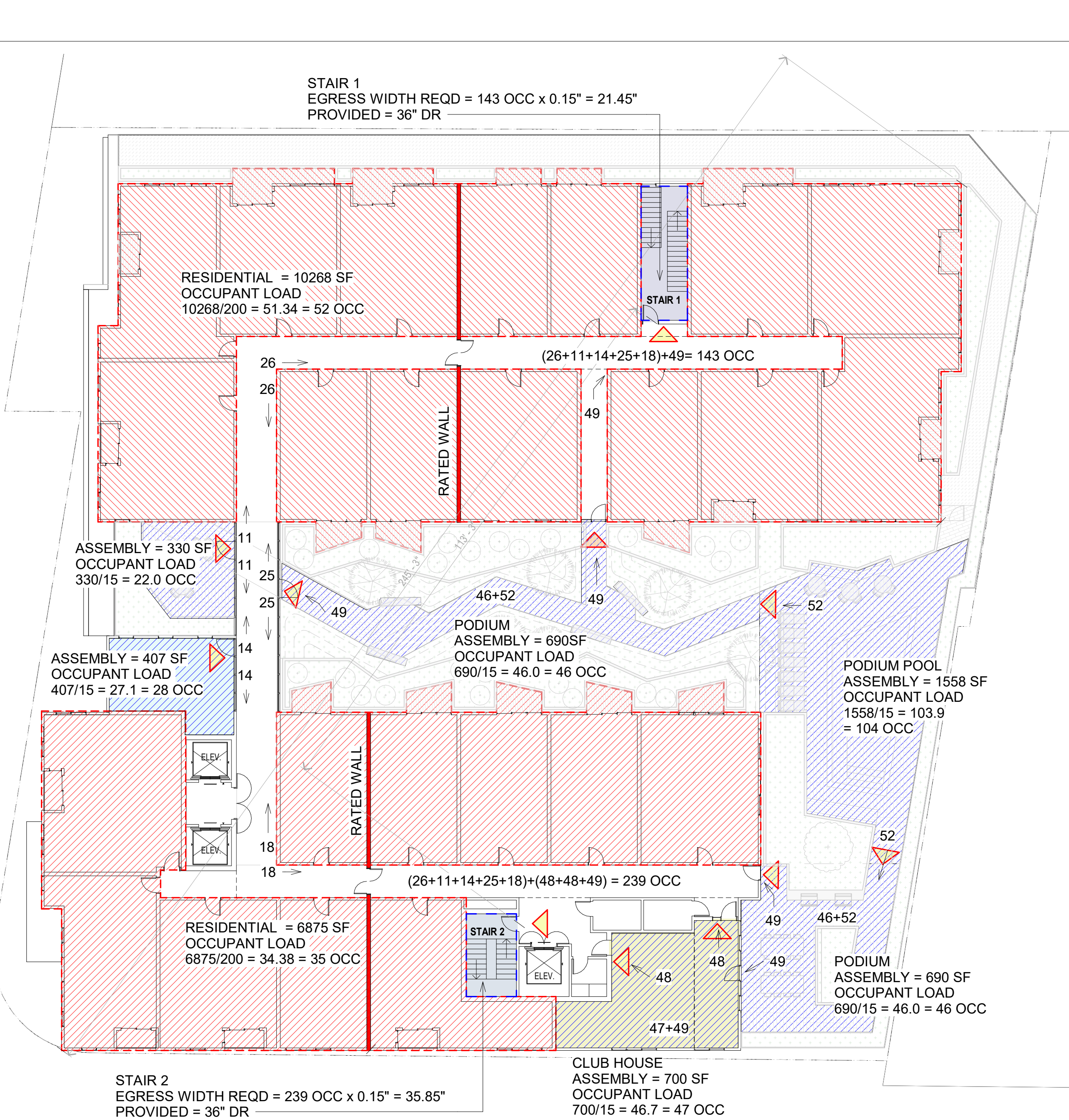
MINIMUM CORRIDOR WIDTH (PER TABLE 1020.1) THE MINIMUM CORRIDOR WIDTH IN PUBLIC AREA IS 44' FOR THE OCCUPANCIES R-2, S-2, A-2 AND B. THE MINIMUM CORRIDOR WIDTH IN RESIDENTIAL UNIT IS 36". ALL CORRIDORS PROVIDED ARE AT LEAST 6 FEET, EXCEEDING THE REQUIRED WIDTH.

**TABLE 504.3 ALLOWABLE HEIGHT**

OCCUPANCY	TYPE OF CONSTRUCTION	HEIGHT ALLOWED
B, S, A	TYPE I A	UNLIMITED
	TYPE III A	85'
R-2 WITHOUT AREA INCREASE	TYPE III A	85'

**TABLE 506.2 ALLOWABLE FLOOR AREA**

OCCUPANCY	TYPE OF CONSTRUCTION	ALLOWABLE AREA
B, S, A	TYPE I A	UNLIMITED
R-2 WITH HEIGHT INCREASE	TYPE III A	ALLOWABLE FLOOR AREA = 24,000 SF PER 506.2.3 24,000 X 2 = 48,000 SF / 6 = 9,600 SF FOR AREA SEPARATION SEE SHEET 002-A FULLY SPRINKLERED AS PER NFPA 13



**3 LEVEL 3 CODE ANALYSIS**  
 Scale: 1/16" = 1'-0"

**1006.3.2 OTHER EGRESS COMPONENTS**

CALCULATE THE CAPACITY, IN INCHES, OF MEANS OF EGRESS COMPONENTS OTHER THAN STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD SERVED BY SUCH COMPONENT BY A MEANS OF EGRESS CAPACITY FACTOR OF 0.2 INCH (5.1 MM) PER OCCUPANT.

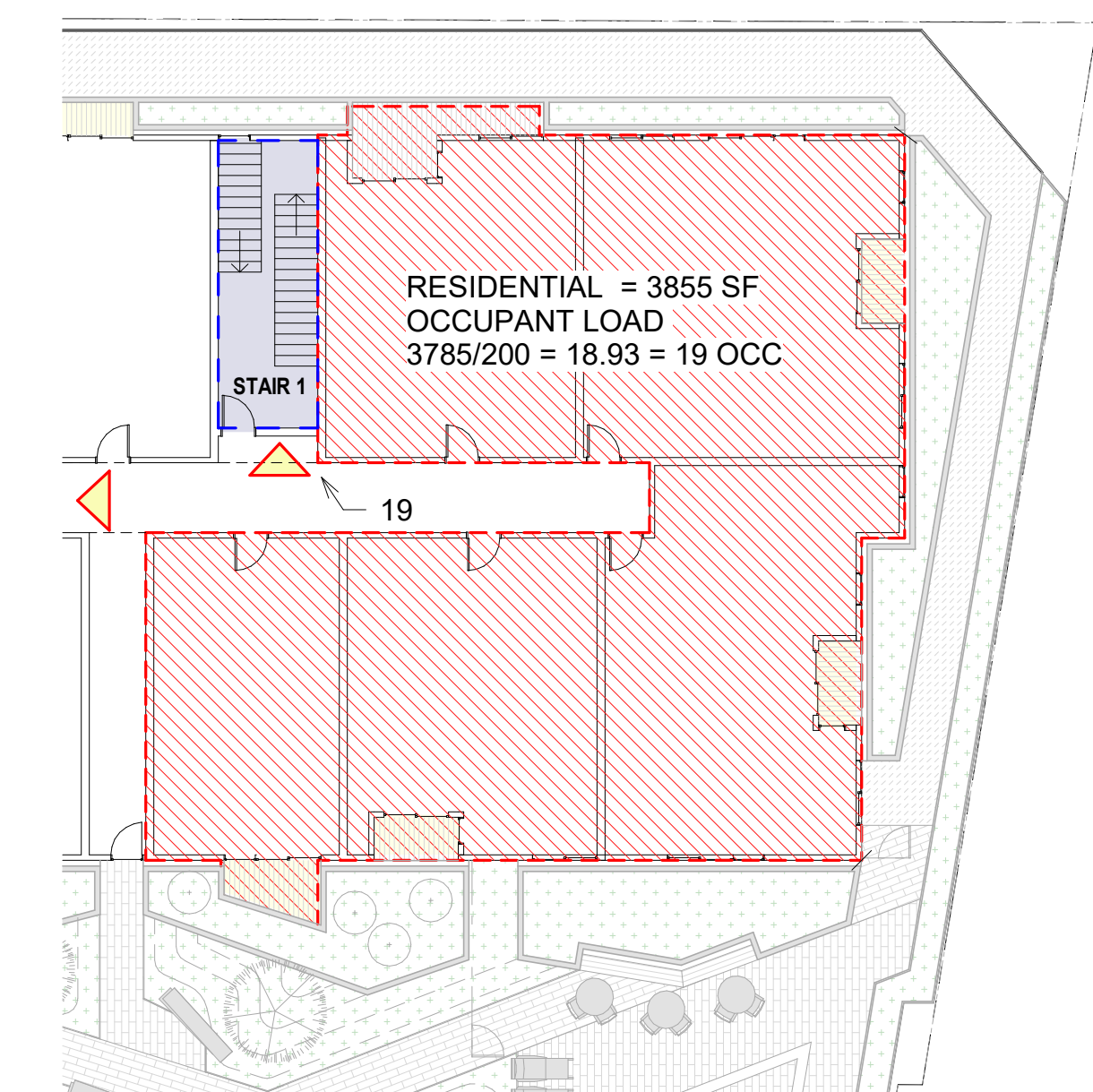
EXCEPTIONS FOR OTHER THAN GROUP H AND I 2 OCCUPANCIES, THE CAPACITY, IN INCHES, OF MEANS OF EGRESS COMPONENTS OTHER THAN STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD SERVED BY SUCH COMPONENT BY A MEANS OF EGRESS CAPACITY FACTOR OF 0.15 INCH (3.8 MM) PER OCCUPANT IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5.2.2.

**1007.1 GENERAL (1007.1.1 TWO EXITS OR EXIT ACCESS DOORWAYS).** WHERE TWO EXITS, EXIT ACCESS DOORWAYS, EXIT ACCESS STAIRWAYS OR RAMPS, OR ANY COMBINATION THEREOF, ARE REQUIRED FROM ANY PORTION OF THE EXIT ACCESS, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN THEM. INTERLOCKING OR SCISSOR STAIRWAYS SHALL BE COUNTED AS ONE EXIT STAIRWAY.

**1010.1.2.1 DIRECTION OF SWING** SIDE-HINGED SWINGING DOORS, PIVOTED DOORS AND BALANCED DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL, WHERE SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY. FOR GROUP L OCCUPANCIES, SEE SECTION 453.6.2.

**FFR (PER TABLE 601 AND 602)**

BUILDING AREAS ARE SHOWN ON PLAN AND COMPLY WITH TYPE I-A (LEVEL 1-2) AND TYPE III-A (LEVEL 3-7) CONSTRUCTION TYPES. SLAB SEPARATING TYPE I-A FROM TYPE 3A IS 3-HOUR SEPARATION. WOOD FRAMED APARTMENT UNITS (UPPER 5 LEVELS) ARE TYPE III-A W/ SPRINKLERS



**3b LEVEL 3 CODE ANALYSIS (east corner)**  
 Scale: 1/16" = 1'-0"



**H23-030  
SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp

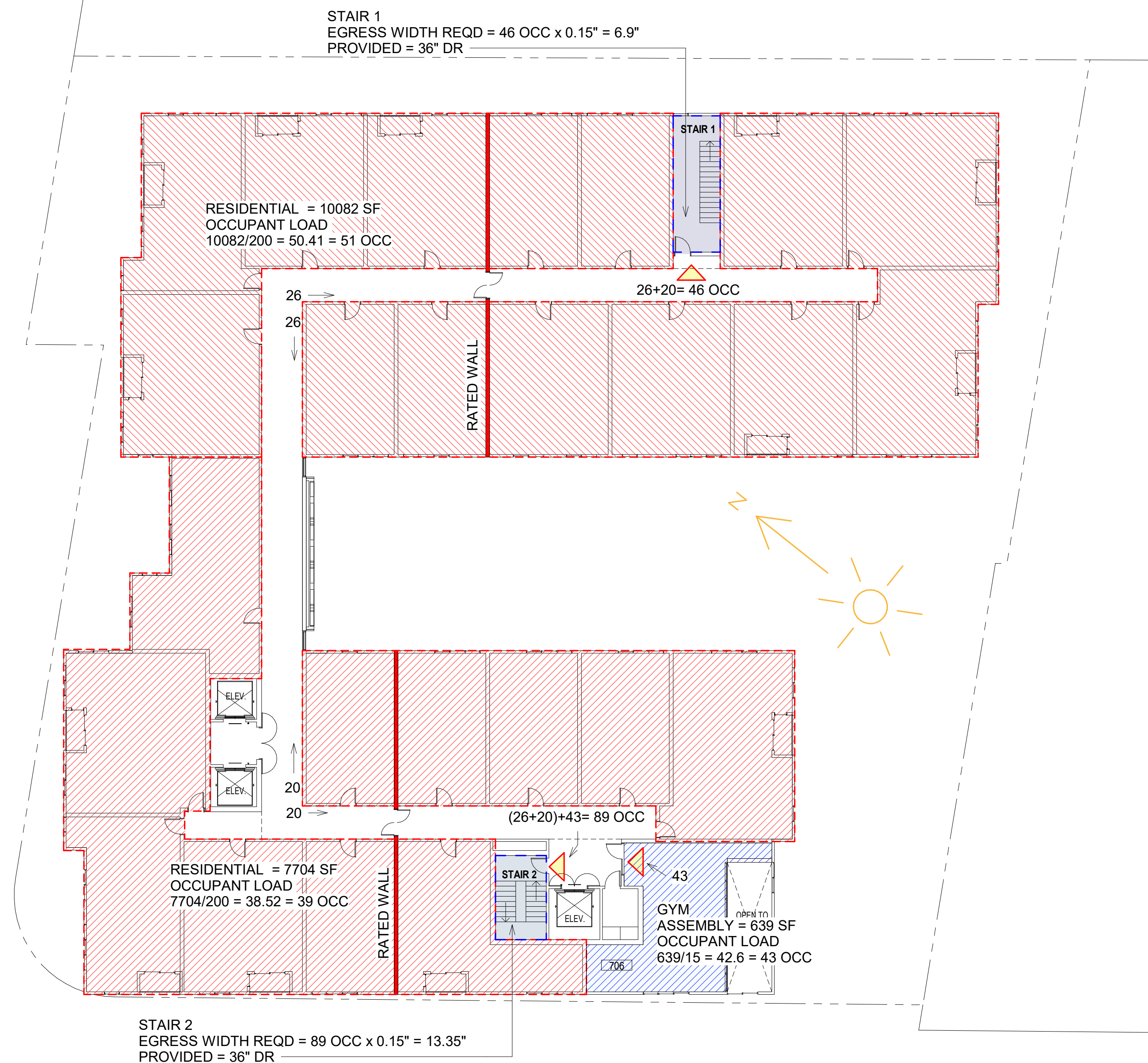


Sheet Information

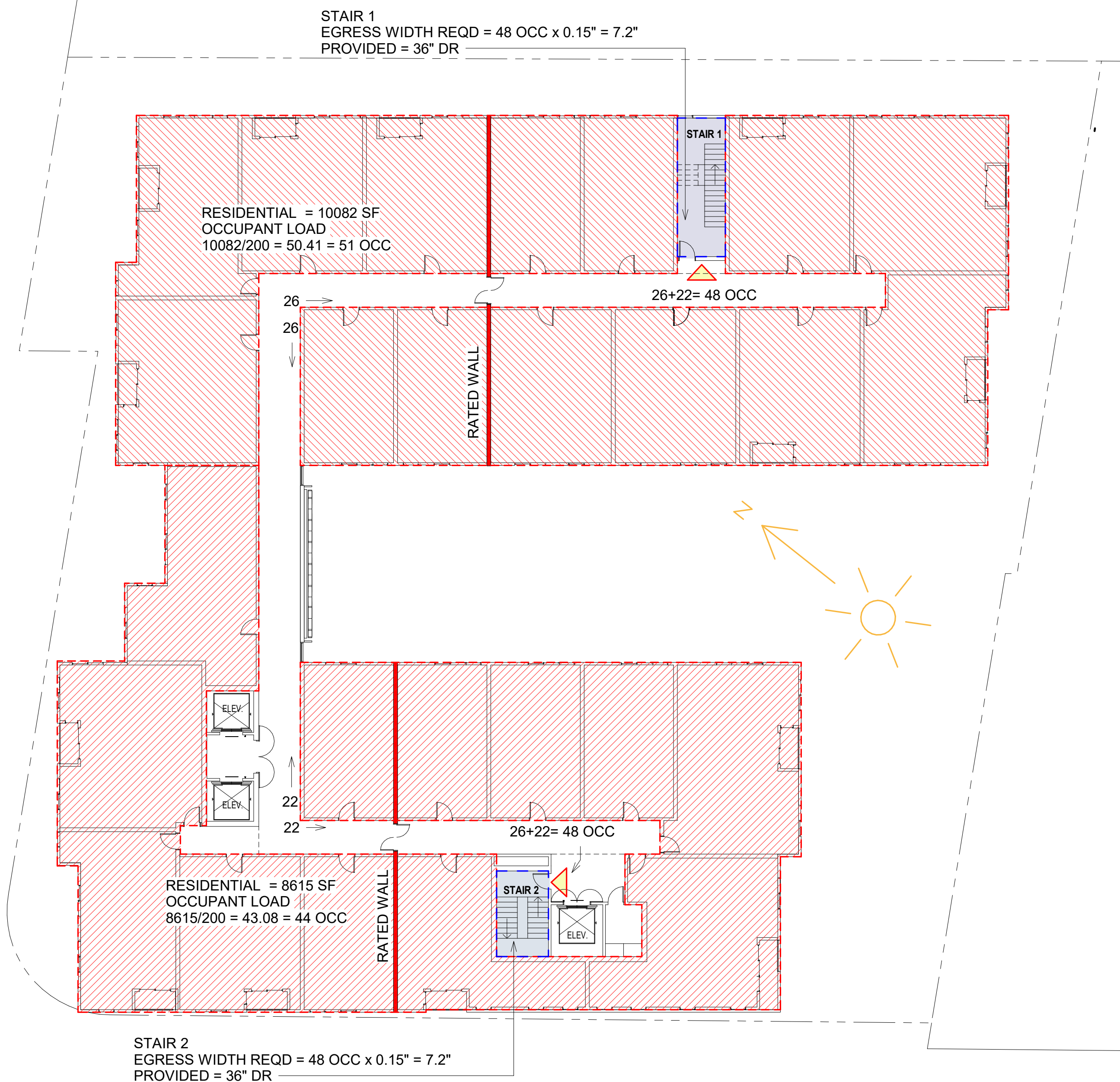
Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"
Sheet Title	

CODE ANALYSIS

**003B-G**



**4 ■ Level 4 CODE ANALYSIS**  
Scale: 1/16" = 1'-0"



**5 ■ Level 5 CODE ANALYSIS**  
Scale: 1/16" = 1'-0"



**H23-030  
SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



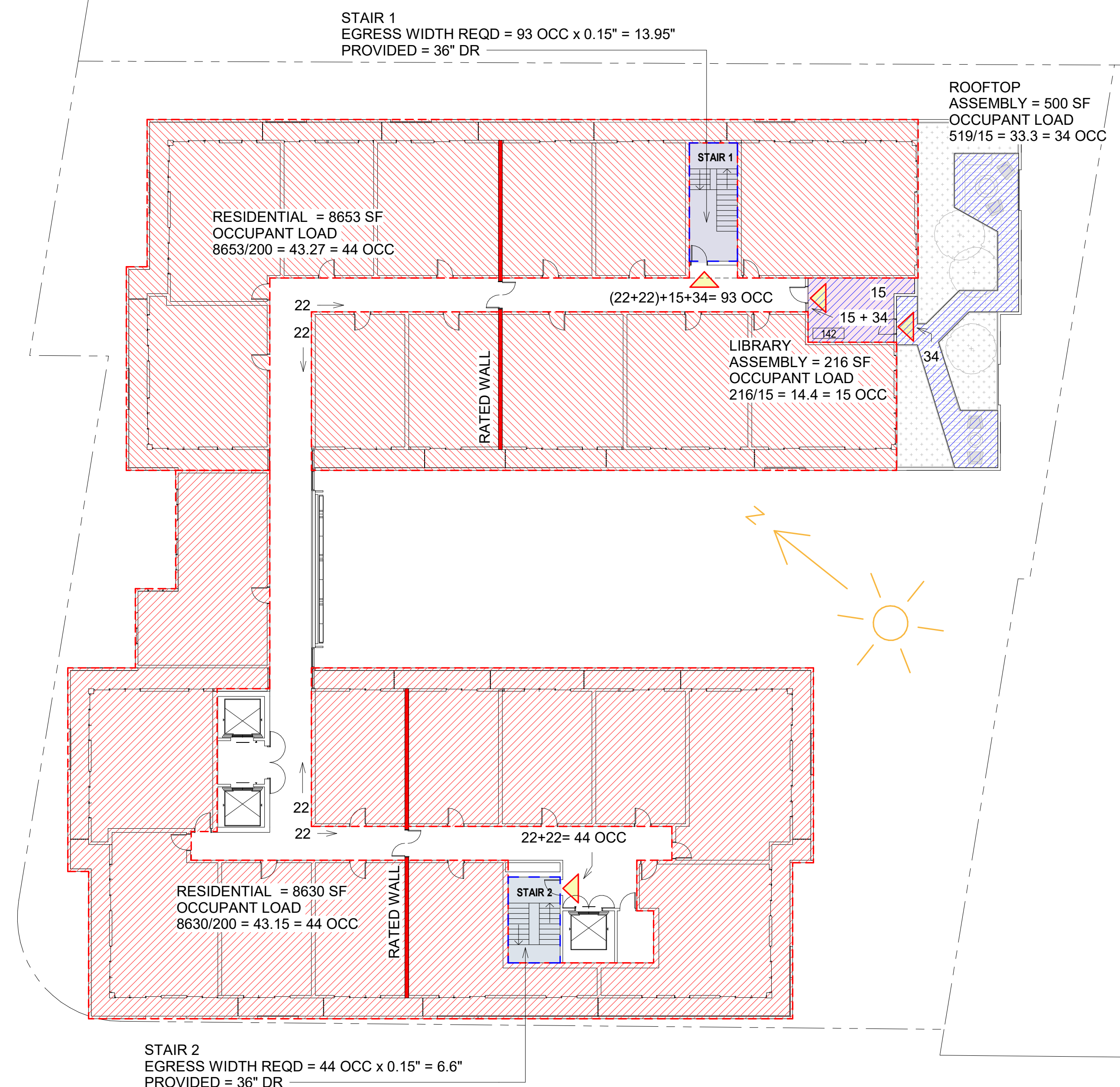
Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"

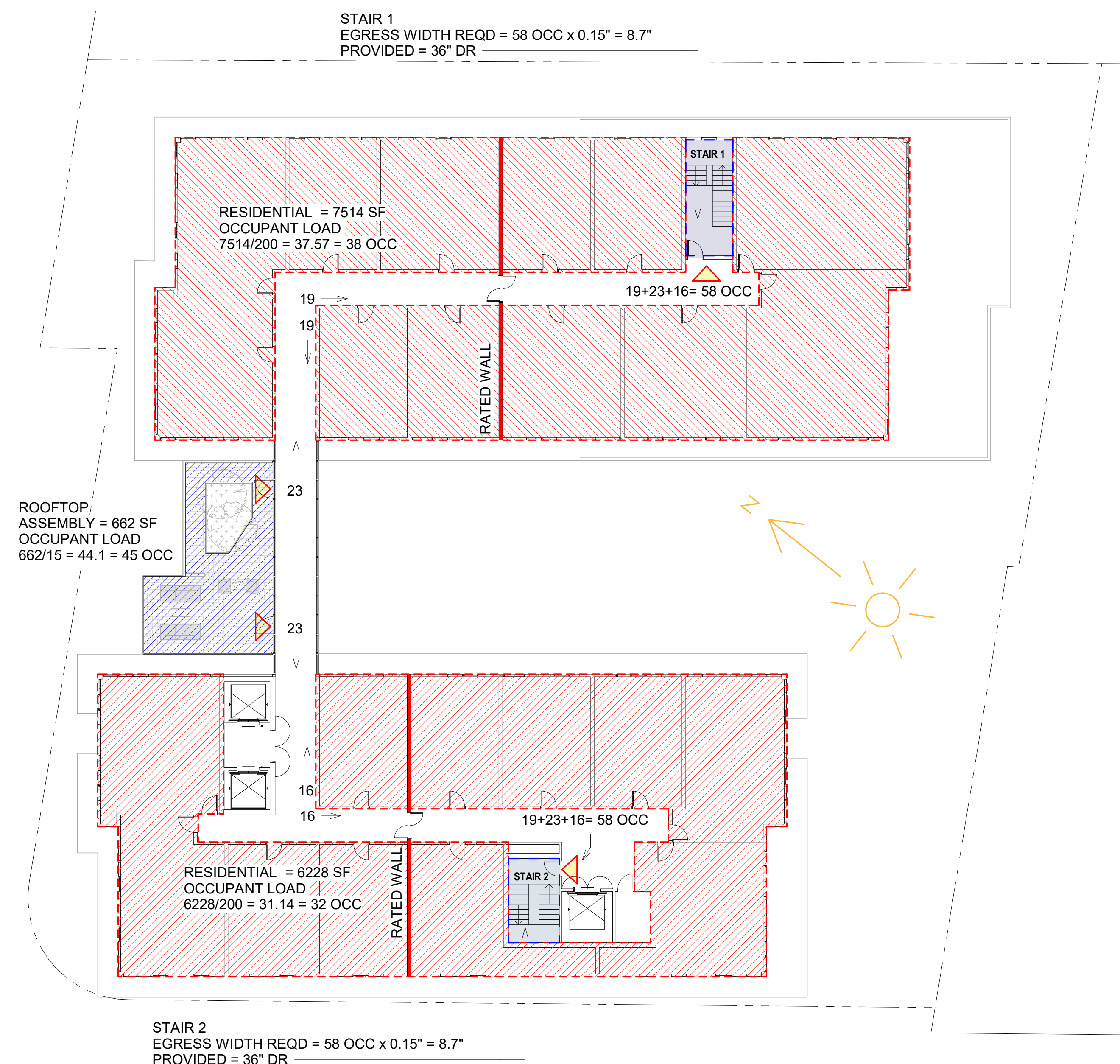
Sheet Title

CODE ANALYSIS

**003C-G**



**6** Level 6 CODE ANALYSIS  
Scale: 1/16" = 1'-0"



**7** Level 7 CODE ANALYSIS  
Scale: 1/16" = 1'-0"

**SITE DEVELOPMENT PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023

Stamp

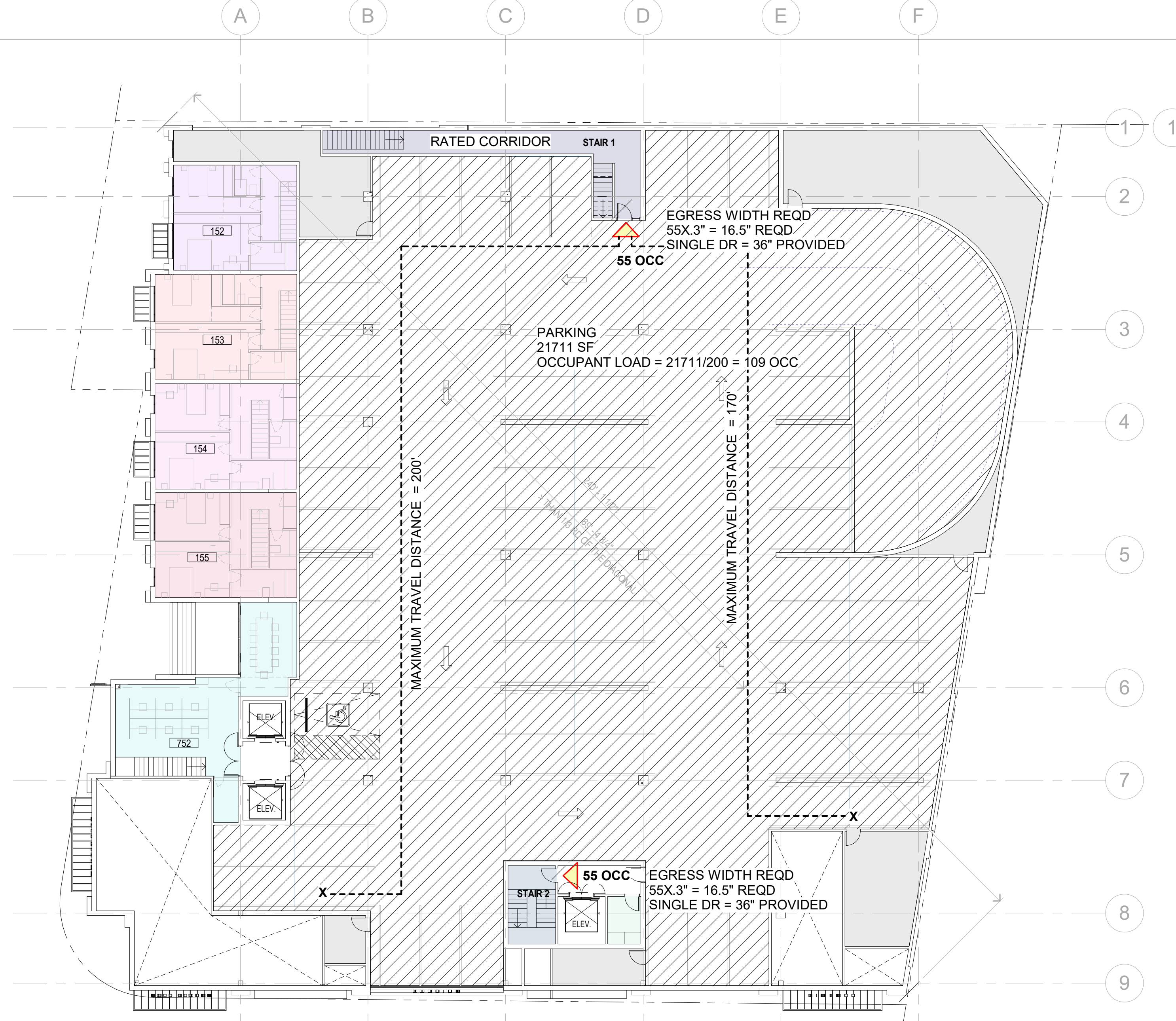


Sheet Information

Issue Date	10/05/23
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"

Sheet Title  
**CODE ANALYSIS**

**003-G**



**2 LEVEL 2 CODE ANALYSIS**  
 Scale: 1/16" = 1'-0"

OCCUPANCY TYPE		
CBC 2019 CODE SECTION	BLDG LEVEL	OCCUPANCY TYPE
SECTION 302, 303.1.2,	GROUND LEVEL	LOW HAZARD STORAGE, GROUP S-2, B, U
	LEVEL 2	GROUP S-2, R-2
	LEVEL 3-7	R-2

UNIT TYPE					
Level	Name	Count	Level	Name	Count
Level 1	TH	4	Level 3	1 BDR	10
Level 4	ST	9	Level 4	1 BDR	10
Level 5	ST	9	Level 5	1 BDR	10
Level 6	ST	12	Level 6	1 BDR	11
Level 7	ST	12	Level 7	1 BDR	9
52			50		
			20		

TOTAL = 4+ 52+ 50+ 20 = 126 UNITS

**COMMON OPEN SPACE**

20.55.102 - COMMON AND PRIVATE OPEN SPACE REQUIREMENTS  
 IS THE OUTDOOR SPACE PROVIDED FOR RECREATION OF ALL RESIDENTS OF A PROJECT. EACH RESIDENTIAL OR MIXED USE DEVELOPMENT SHALL COMPLY WITH THE FOLLOWING COMMON OPEN SPACE REQUIREMENTS:

1. MIXED USE DEVELOPMENT PROJECTS SHALL PROVIDE COMMON OPEN SPACE AT A MINIMUM OF 75 SQUARE FEET PER RESIDENTIAL UNIT

Level	Name	Area	REQUIRED = 126 X 75 = 9,450 SF
Level 1	Common Open Space	853 SF	
Level 2	Common Open Space	781 SF	
Level 3	Common Open Space	10587 SF	
Level 4	Common Open Space	679 SF	
Level 6	Common Open Space	1591 SF	
Level 7	Common Open Space	807 SF	
		15288 SF	

**PRIVATE OPEN SPACE**

20.55.102 - COMMON AND PRIVATE OPEN SPACE REQUIREMENTS  
 IS THE OUTDOOR SPACE ATTACHED TO A LIVING UNIT AND PROVIDED FOR THE USE OF THE RESIDENTS OF THE LIVING UNIT. PRIVATE OPEN SPACE CAN OCCUR IN THE FORM OF A PATIO, BALCONY, DECK, OR REAR YARD. THE PRIVATE OPEN SPACE REQUIREMENT IS CALCULATED BASED ON THE TOTAL NUMBER OF UNITS AND EACH DEVELOPMENT SHALL MEET THE FOLLOWING PRIVATE OPEN SPACE REQUIREMENTS:

1. MIXED USE DEVELOPMENT PROJECTS SHALL PROVIDE PRIVATE OPEN SPACE IN THE FOLLOWING MANNER:  
 A. STUDIOS AND 1 BEDROOM UNITS SHALL PROVIDE A MINIMUM OF 30 SQUARE FEET PER RESIDENTIAL UNIT.  
 B. UNITS WITH 2 OR MORE BEDROOMS SHALL PROVIDE A MINIMUM OF 45 SQUARE FEET PER RESIDENTIAL UNIT.

Level	Name	Area	REQUIRED = STUDIO & 1 BDR = 102 X 30 = 3,060 SF = 2 BDR = 21 X 45 = 945 SF TOTAL REQUIRED = 3,060+ 945 = 4,005 SF
Level 3	Private Open Space	1243 SF	
Level 4	Private Open Space	517 SF	
Level 5	Private Open Space	575 SF	
Level 6	Private Open Space	3007 SF	
Level 7	Private Open Space	5343 SF	

**TABLE 508.4 MIXED OCCUPANCIES**

LEVEL	MIXED OCCUPANCIES	REQUIRED HOURS OF SEPARATION OF OCCUPANCIES
GROUND LEVEL	S2 /B/ R2	1
LEVEL 2	S2 / R-2	1
LEVEL 3	R-2 /A3	1
LEVEL 4	R-2 / A3	1
LEVEL 5	R-2	-
LEVEL 6	R-2/A3	1
LEVEL 7	R-2	-

**TABLE 1020.2 CORRIDOR FIRE RATING**

OCCUPANCY TYPE	CORRIDOR WITH SPRINKLER SYSTEM
R-2	1 HOUR IF GREATER THAN 10
S-2	0
A-2	0
B	0

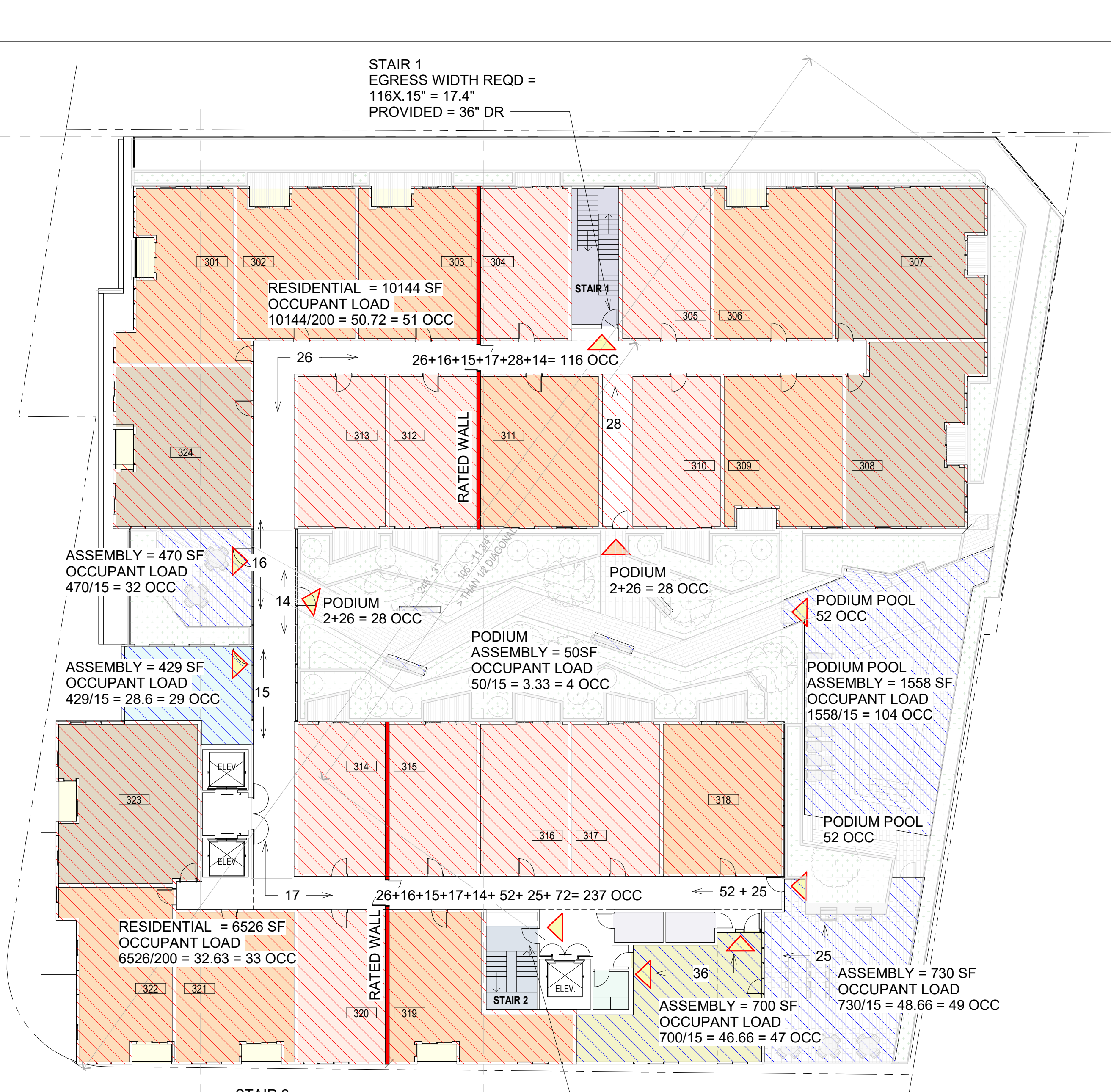
MINIMUM CORRIDOR WIDTH (PER TABLE 1020.1)  
 THE MINIMUM CORRIDOR WIDTH IN PUBLIC AREA IS 44' FOR THE OCCUPANCIES R-2, S-2, A-2 AND B. THE MINIMUM CORRIDOR WIDTH IN RESIDENTIAL UNIT IS 36". ALL CORRIDORS PROVIDED ARE AT LEAST 6 FEET, EXCEEDING THE REQUIRED WIDTH.

**TABLE 504.3 ALLOWABLE HEIGHT**

OCCUPANCY	TYPE OF CONSTRUCTION	HEIGHT ALLOWED
B, S, A	TYPE I A	UNLIMITED
	TYPE III A	85'
R-2 WITHOUT AREA INCREASE	TYPE III A	85'

**TABLE 506.2 ALLOWABLE FLOOR AREA**

OCCUPANCY	TYPE OF CONSTRUCTION	ALLOWABLE AREA
B, S, A	TYPE I A	UNLIMITED
R-2 WITH HEIGHT INCREASE	TYPE III A	ALLOWABLE FLOOR AREA = 24,000 SF PER 506.2.3 24,000 X 2 = 48,000 SF / 6 = 8,000 SF FOR AREA SEPARATION SEE SHEET 002-A FULLY SPRINKLERED AS PER NFPA 13



**3 LEVEL 3 CODE ANALYSIS**  
 Scale: 1/16" = 1'-0"

**1005.3.2 OTHER EGRESS COMPONENTS**

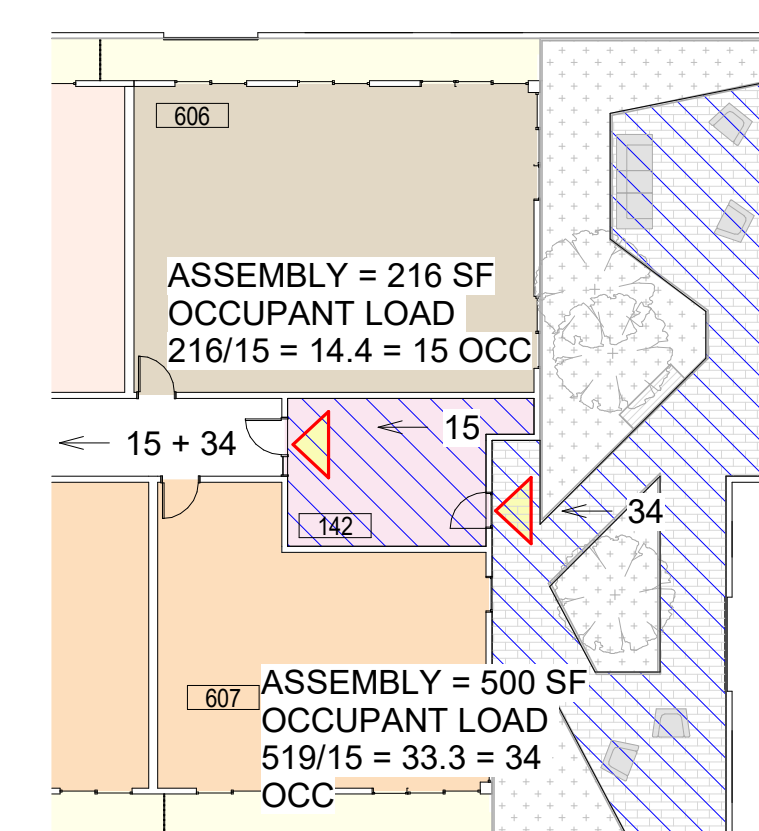
CALCULATE THE CAPACITY, IN INCHES, OF MEANS OF EGRESS COMPONENTS OTHER THAN STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD SERVED BY SUCH COMPONENT BY A MEANS OF EGRESS CAPACITY FACTOR OF 0.2 INCH (5.1 MM) PER OCCUPANT.

EXCEPTIONS FOR OTHER THAN GROUP H AND I-2 OCCUPANCIES, THE CAPACITY, IN INCHES, OF MEANS OF EGRESS COMPONENTS OTHER THAN STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD SERVED BY SUCH COMPONENT BY A MEANS OF EGRESS CAPACITY FACTOR OF 0.15 INCH (3.8 MM) PER OCCUPANT IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5.2.2.

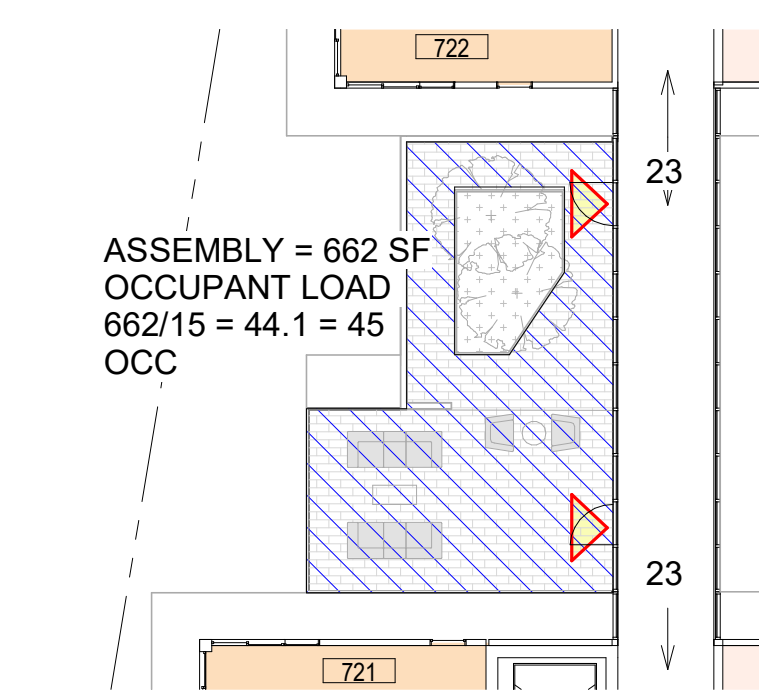
**1007.1 GENERAL (1007.1.1 TWO EXITS OR EXIT ACCESS DOORWAYS):**  
 WHERE TWO EXITS, EXIT ACCESS DOORWAYS, EXIT ACCESS STAIRWAYS OR RAMPS, OR ANY COMBINATION THEREOF, ARE REQUIRED FROM ANY PORTION OF THE EXIT ACCESS, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN THEM. INTERLOCKING OR SCISSOR STAIRWAYS SHALL BE COUNTED AS ONE EXIT STAIRWAY.

**1010.1.2.1 DIRECTION OF SWING:**  
 SIDE-HINGED SWINGING DOORS, PIVOTED DOORS AND BALANCED DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY. FOR GROUP L OCCUPANCIES, SEE SECTION 453.6.2.

**FFR (PER TABLE 601 AND 602)**  
 BUILDING AREAS ARE SHOWN ON PLAN AND COMPLY WITH TYPE I-A (LEVEL 1-2) AND TYPE III-A (LEVEL 3-7) CONSTRUCTION TYPES.  
 SLAB SEPARATING TYPE IA FROM TYPE 3A IS 3-HOUR SEPARATION.  
 WOOD FRAMED APARTMENT UNITS (UPPER 5 LEVELS) ARE TYPE III-A W/ SPRINKLERS



**6 Level 6 CODE ANALYSIS**  
 Scale: 1/16" = 1'-0"



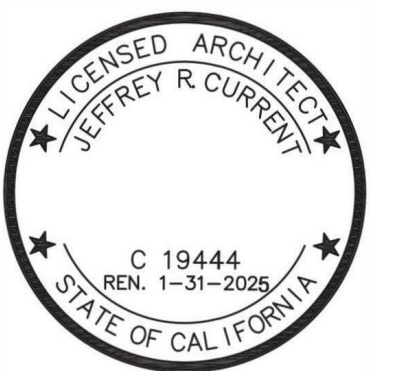
**7 Level 7 CODE ANALYSIS**  
 Scale: 1/16" = 1'-0"

**H23-030  
 SITE DEVELOPMENT  
 PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



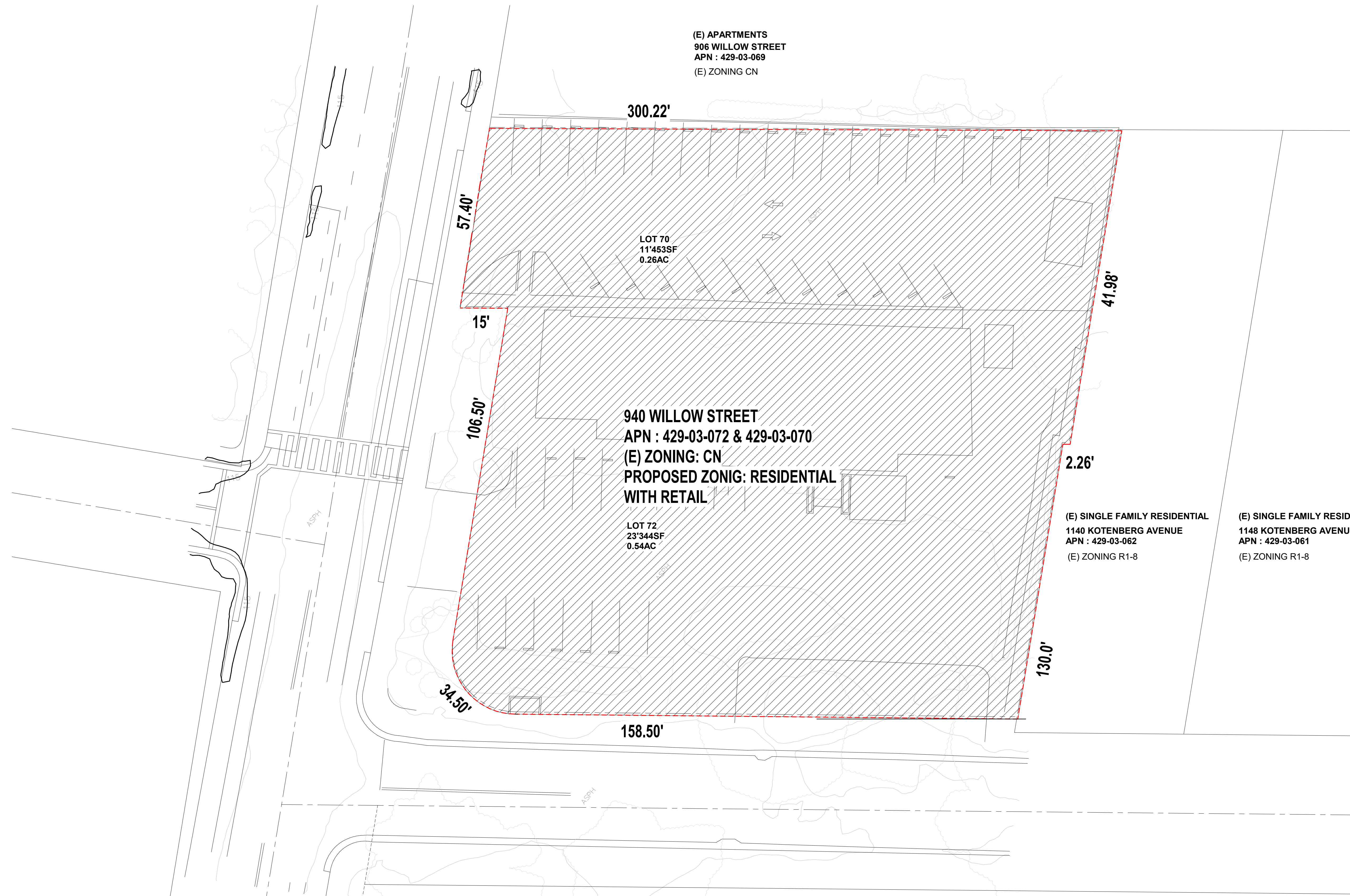
Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"

Sheet Title

**GENERAL  
 DEVELOPMENT PLAN**

**004-G**



(E) APARTMENTS  
 906 WILLOW STREET  
 APN : 429-03-069  
 (E) ZONING CN

LOT 70  
 11'453SF  
 0.26AC

**940 WILLOW STREET**  
 APN : 429-03-072 & 429-03-070  
 (E) ZONING: CN  
**PROPOSED ZONIG: RESIDENTIAL  
 WITH RETAIL**

LOT 72  
 23'344SF  
 0.54AC

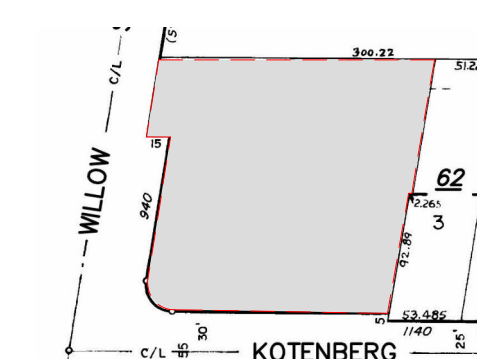
(E) SINGLE FAMILY RESIDENTIAL  
 1140 KOTENBERG AVENUE  
 APN : 429-03-062  
 (E) ZONING R1-8

(E) SINGLE FAMILY RESIDENTIAL  
 1148 KOTENBERG AVENUE  
 APN : 429-03-061  
 (E) ZONING R1-8

**LEGEND**

SYMBOL	USE	EXISTING ZONING	AREA
	MIXED USE	CN	.80 ACRES

--- PROPERTY LINE







Project:  
**940 Willow Street**

Mixed Use Proposal

Consultant

REFERENCE FILE # PRE23-089  
SUBMITTED ON JUNE 12, 2023

**H23-030  
SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1" = 20'-0"

Sheet Title

**EXISTING SITE PLAN &  
PHOTOS**

**005-E**



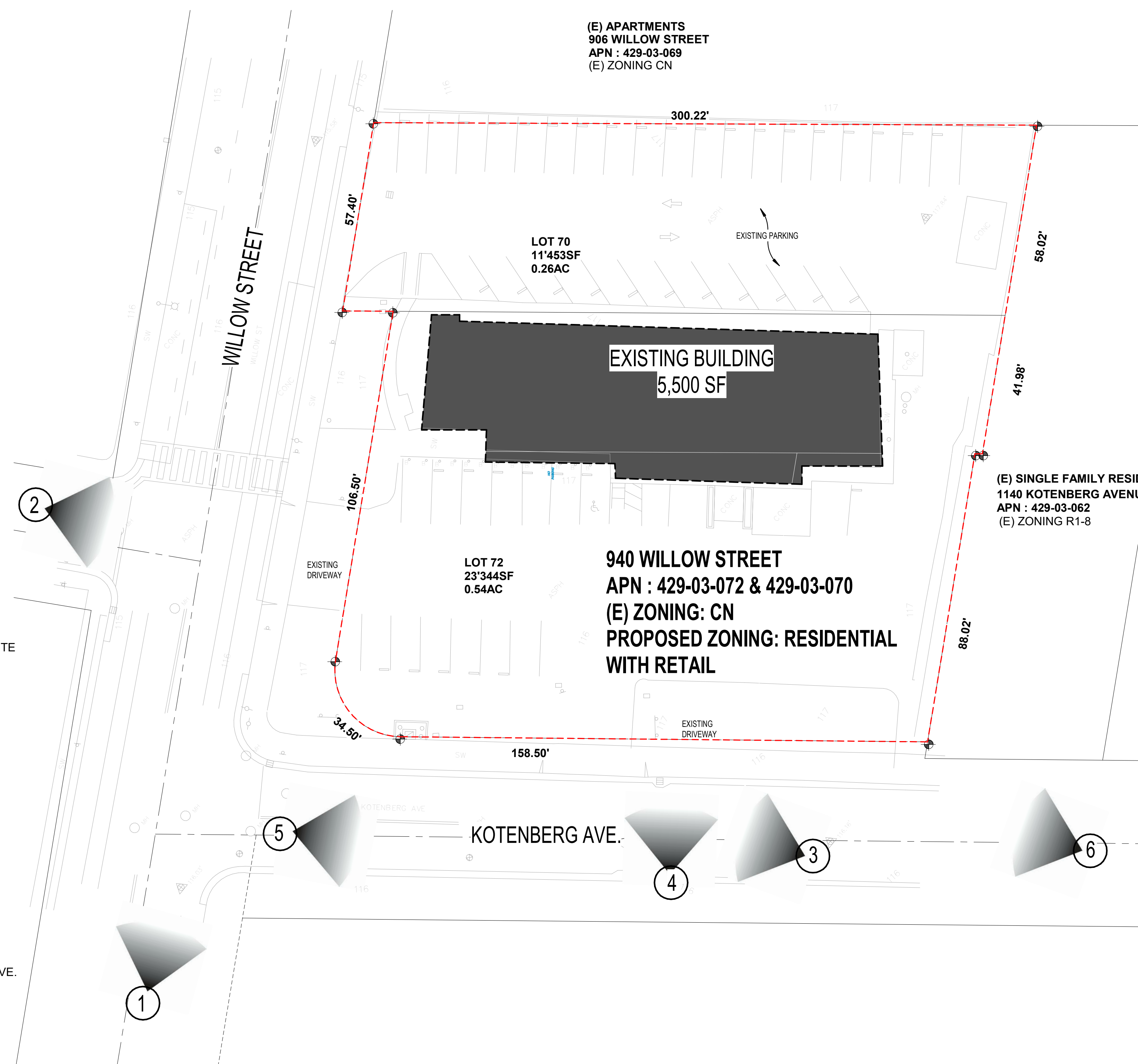
VIEW 3: APPROACHING SITE FROM KOTENBERG AVE.



VIEW 2: VIEW FROM CHABRANT WAY, APPROACHING FRONT VIEW OF SITE



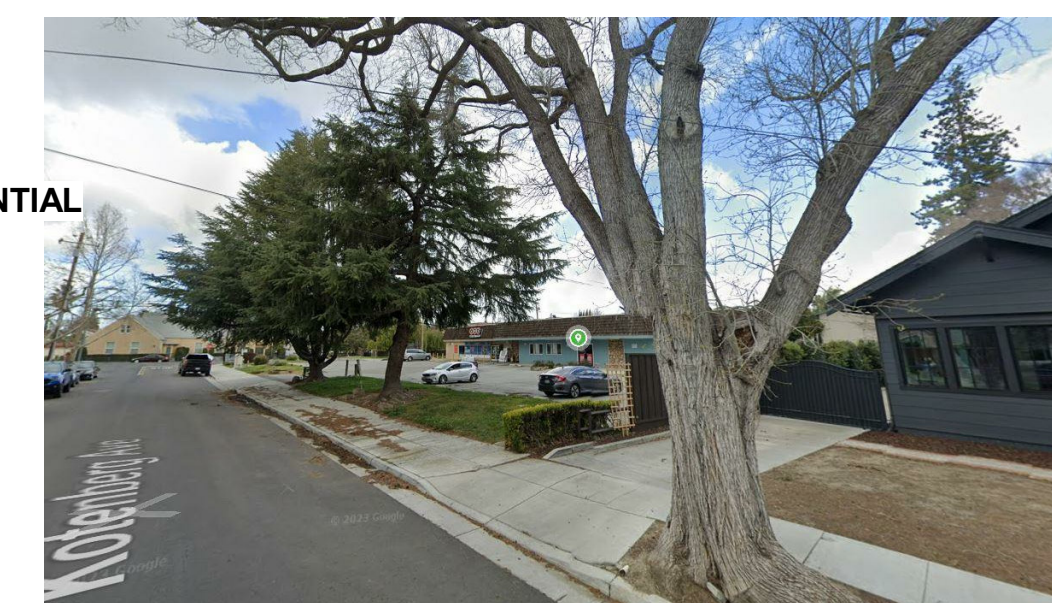
VIEW 1: APPROACHING SITE FROM WILLOW ST.  
MAIN CORNER INTERSECTION OF WILLOW ST. & KOTENBERG AVE.



**1** ■ EXISTING SITE PLAN  
Scale: 1" = 20'-0"



VIEW 4: FROM KOTENBERG AVE.



VIEW 6: FROM KOTENBERG AVE.



VIEW 5: FROM WILLOW/ KOTENBERG AVE. CORNER



**STUDIO  
CURRENT**  
URBAN DESIGN + ARCHITECTURE  
56 N. Third Street, Suite 110, San Jose, CA, 95112  
T. 408.816.2008 www.studiocurrent.com

Project:  
**940 Willow Street**  
Mixed Use Proposal  
Consultant

REFERENCE FILE # PRE23-089

**H23-030  
SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	As indicated

Sheet Title

**PROPOSED GROUND  
FLOOR & SITE PLAN**

**006-S**

**EV PARKING**

Level 1	
EVSE	13
EV Ready	29
EV Capable	18
TOTAL	60
Level 2	
EVSE	0
EV Ready	0
EV Capable	67
TOTAL	67

TOTAL PROVIDED	REQUIRED
EVSE 13 (10.2%)	EVSE 10%
EV Ready 29 (22.8%)	EV Ready 20%
EV Capable 85 (66.9%)	EV Capable 70%
TOTAL 127 (100%)	

**PARKING SPACE REQUIRED**

THE SAN JOSE CITY COUNCIL VOTED UNANIMOUSLY ON DECEMBER 6, 2022 TO UPDATE ITS PARKING ORDINANCE TO NO LONGER HAVE MINIMUM PARKING REQUIREMENTS FOR DEVELOPMENT PROPOSALS AND TO FAVOR OTHER MODES OF TRANSPORTATION. THE NEW ORDINANCE IS IN EFFECT AS OF APRIL 10, 2023.

**PARKING SCHEDULE**

Family and Type	Level	Count
Parking Space - ADA: 9' x 18' ADA ( 5' Aisle)	Level 1	4
Parking Space - ADA: 9' x 18' ADA ( 5' Aisle)	Level 2	1
Uniform Parking Space: 8.5' x 17' - 90 deg	Level 1	56
Uniform Parking Space: 8.5' x 17' - 90 deg	Level 2	66
Grand total: 127		

**ADA PARKING SPACE REQUIRED**

**11B-208.2 MINIMUM NUMBER**

PARKING SPACES COMPLYING WITH SECTION 11B-502 SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 11B-208.2 EXCEPT AS REQUIRED BY SECTIONS 11B-208.2.1, 11B-208.2.2, AND 11B-208.2.3. WHERE MORE THAN ONE PARKING FACILITY IS PROVIDED ON A SITE, THE NUMBER OF ACCESSIBLE SPACES PROVIDED ON THE SITE SHALL BE CALCULATED ACCORDING TO THE NUMBER OF SPACES REQUIRED FOR EACH PARKING FACILITY.

**11B-208.2.4 VAN PARKING SPACES**

FOR EVERY SIX OR FRACTION OF SIX PARKING SPACES REQUIRED BY SECTION 11B-208.2 TO COMPLY WITH SECTION 11B-502, AT LEAST ONE SHALL BE A VAN PARKING SPACE COMPLYING WITH SECTION 11B-502.

**101- 150 SPACES = 5 ADA PARKING SPACES**

**PROVIDED - 5 ADA PARKING SPACES**

**BIKE PARKING SPACE REQUIRED**

**TABLE 20-190**

**BICYCLE PARKING SPACES REQUIRED BY LAND USE AND TDM LAND USE CATEGORIZATION**

MULTIPLE DWELLING - 1 PER 4 LIVING UNITS  
1264 = 31.5 = 32 SPACES

PROVIDED 32 SPACES

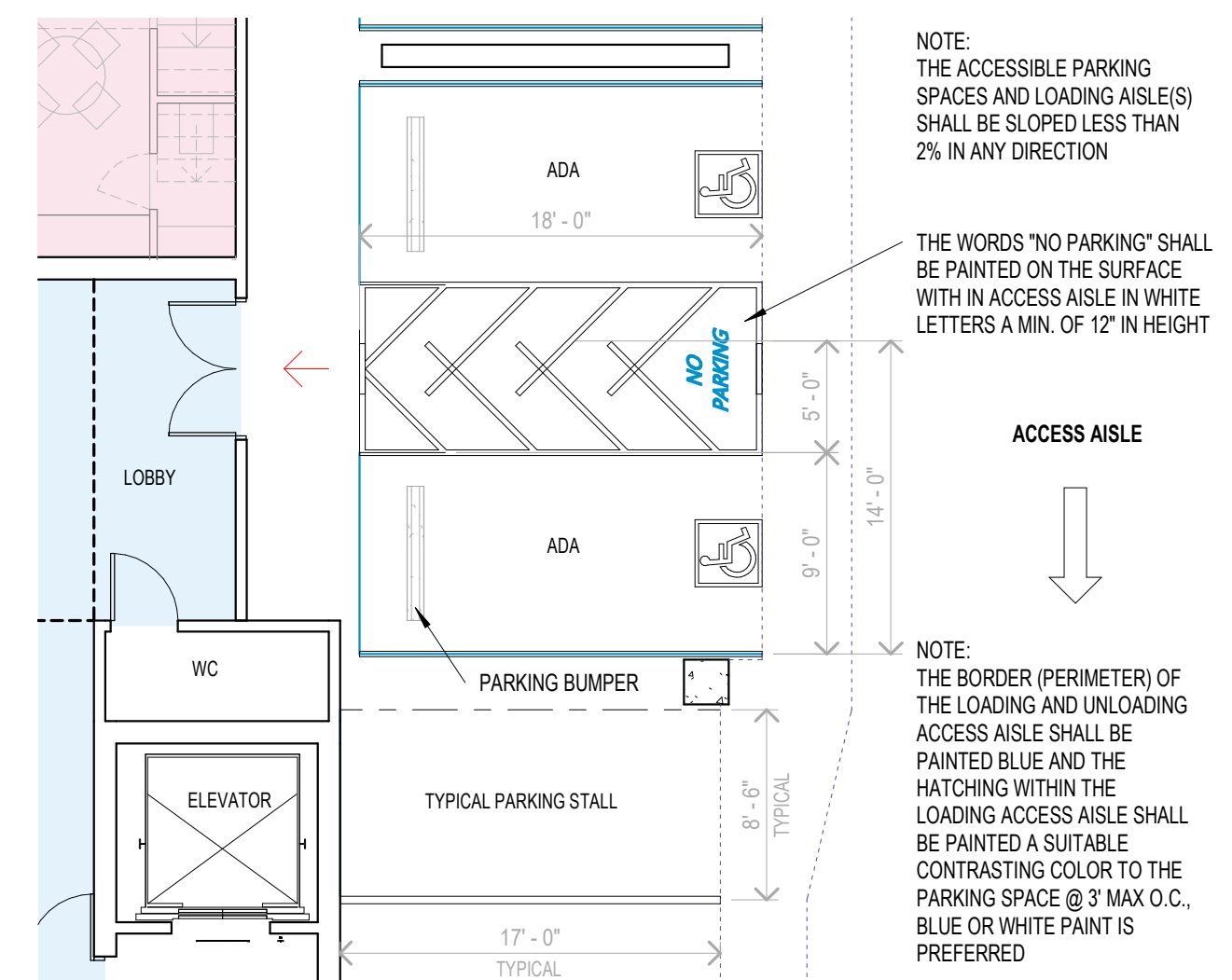
**MOTORBIKE PARKING SPACE REQUIRED**

**20.90.350 - TWO-WHEELED MOTORIZED VEHICLE PARKING SPACES**

A TWO-WHEELED MOTORIZED VEHICLE PARKING SPACE SHALL BE PROVIDED AT A RATE OF 2.5% OF STANDARD VEHICLE PARKING PROVIDED, EXCEPT FOR MULTI-FAMILY RESIDENTIAL USES WHEN THE MULTI-FAMILY USES ARE LOCATED IN BUILDINGS THAT HAVE INDIVIDUAL ENCLOSED GARAGES ASSIGNED TO EACH MULTI-FAMILY DWELLING UNIT. ANY FRACTIONAL AMOUNT IS ROUNDED UP. NO TWO-WHEELED MOTORIZED VEHICLE PARKING SPACES ARE REQUIRED IF TEN OR LESS VEHICLE PARKING SPACES ARE PROVIDED.

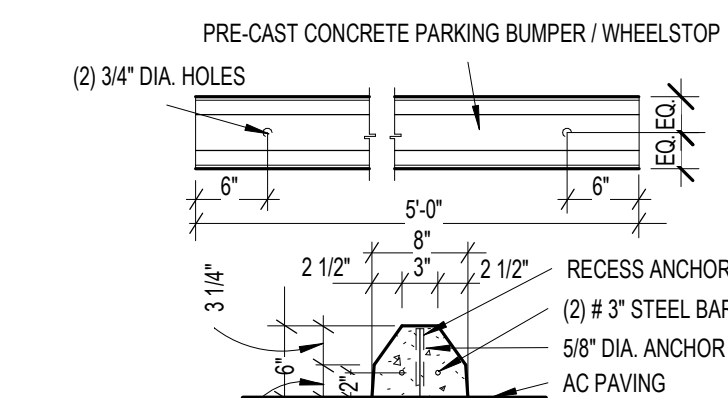
REQUIRED = 2.5% OF 126 UNITS = 3.15 = 4 SPACES

PROVIDED = 6 SPACES



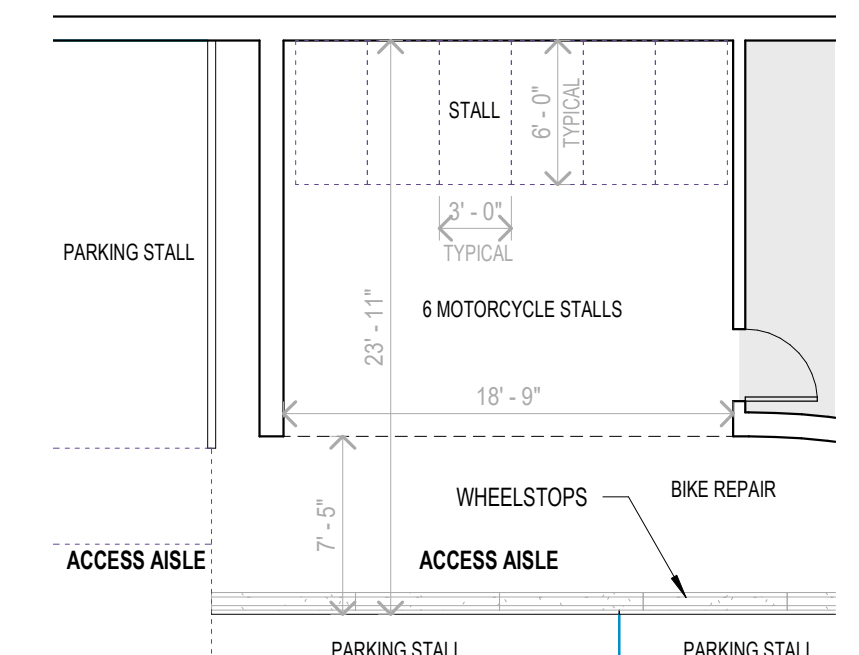
**P ■ Typical Parking Space**

Scale: 1/8" = 1'-0"



**W ■ Wheelstops**

Scale: 3/4" = 1'-0"



**M ■ Typical Motorcycle Space**

Scale: 1/8" = 1'-0"

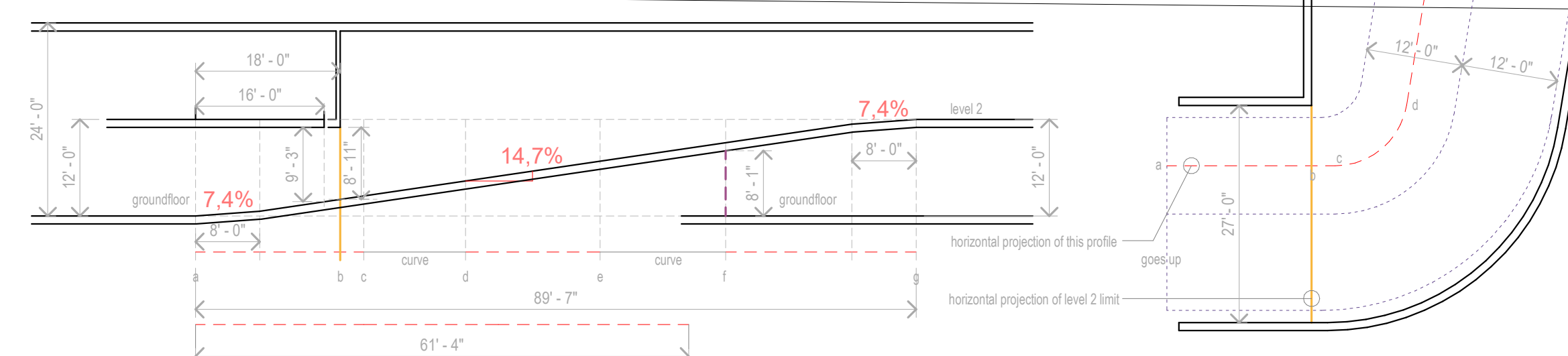
**(E) APARTMENTS  
906 WILLOW STREET  
APN : 429-03-069**

**(E) SINGLE FAMILY  
RESIDENTIAL  
1140 KOTENBERG AVENUE  
APN : 429-03-062**

**UNIT TYPE**

Level	Name	Count	Area
Level 1	TH A - L1	1	528 SF
Level 1	TH B - L1	1	532 SF
Level 1	TH C - L1	1	665 SF
Level 1	TH D - L1	1	580 SF
4			2304 SF

**1 ■ GROUND FLOOR PLAN**  
Scale: 1/16" = 1'-0"



**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp

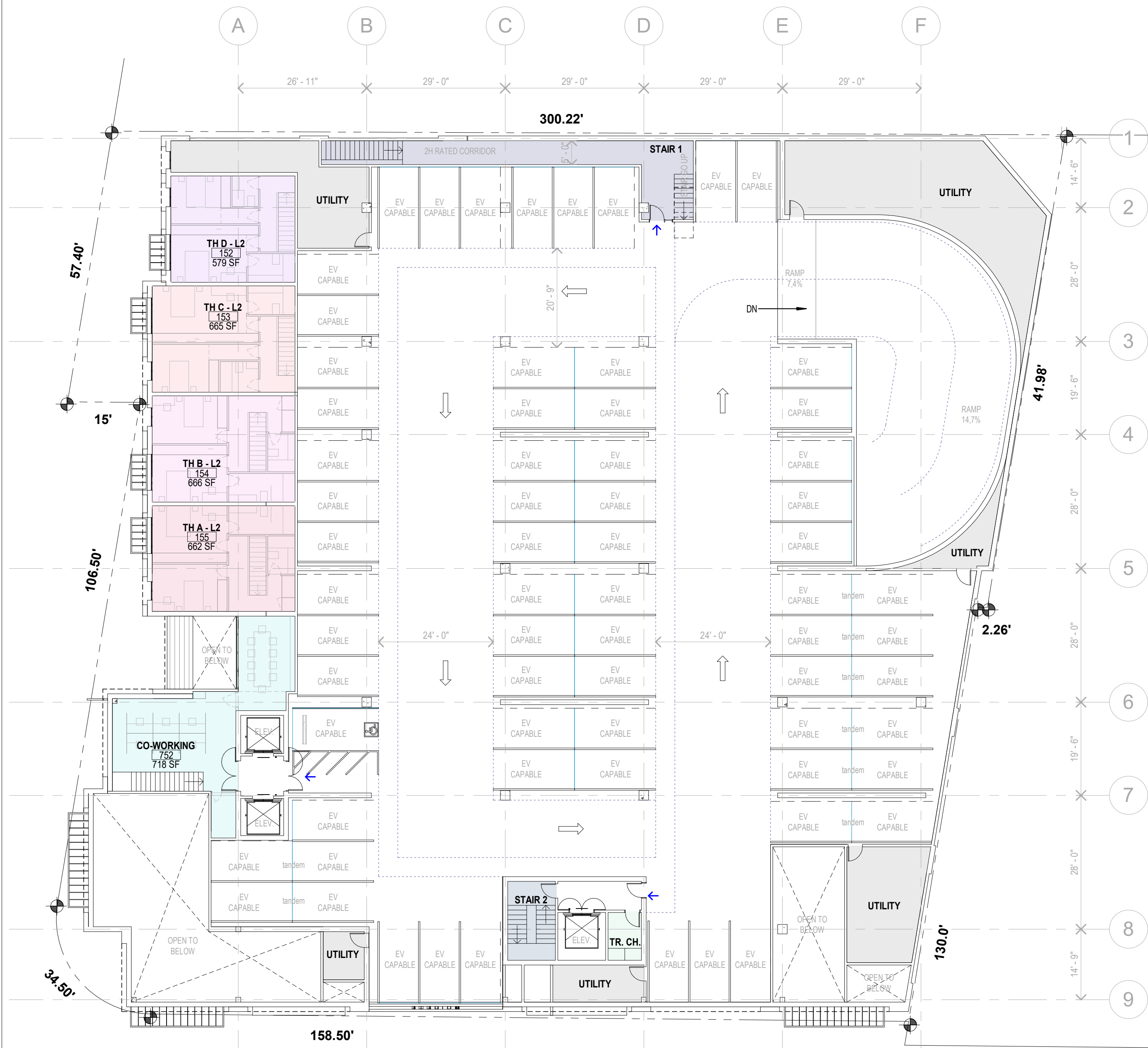


Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"

**Sheet Title**  
**LEVEL 2 & 3 FLOOR PLAN**

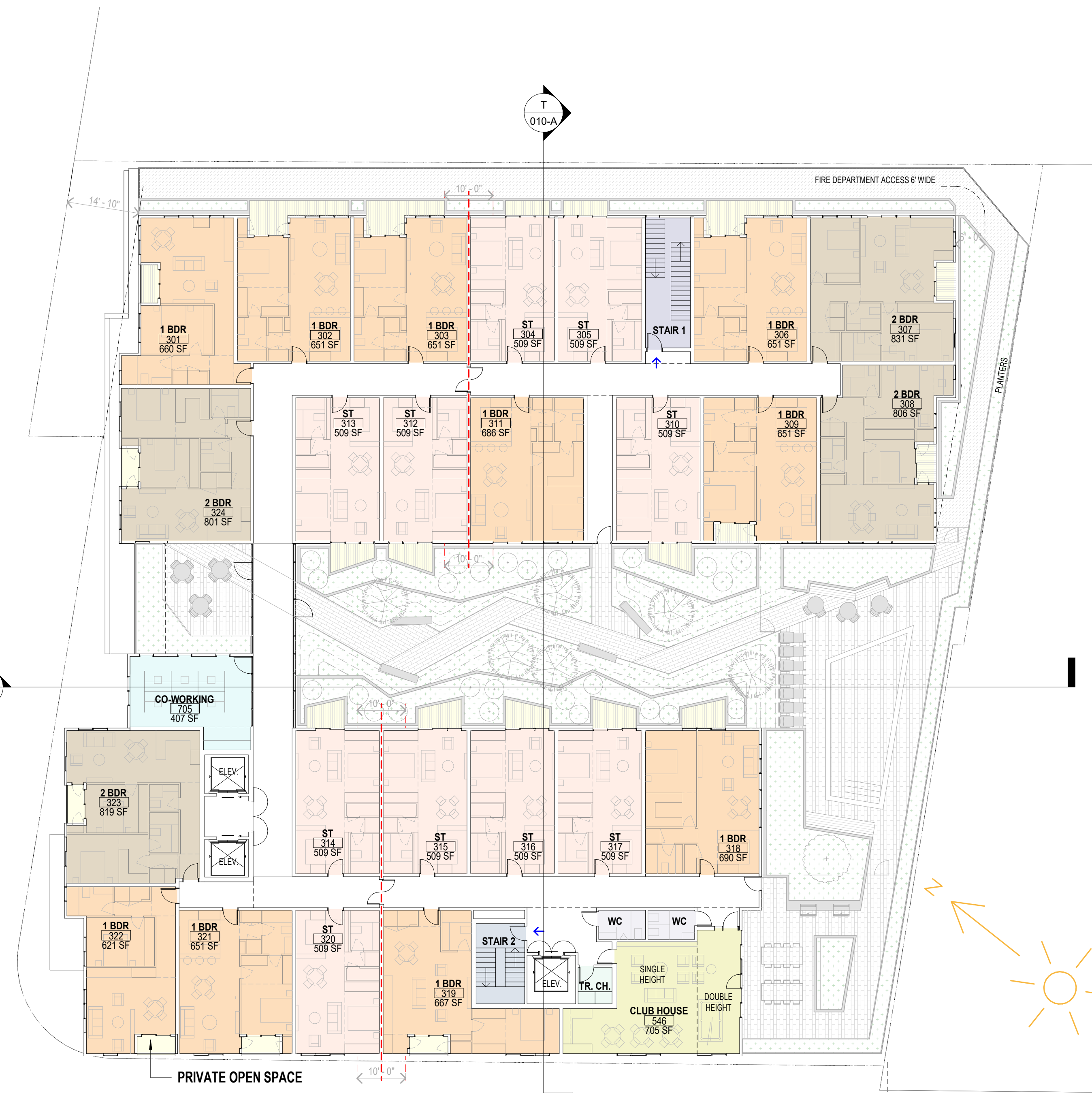
**007-A**



**2 LEVEL 2**  
 Scale: 1/16" = 1'-0"

**UNIT TYPE**

Level	Name	Count	Area
Level 2	TH D - L2	1	579 SF
Level 2	TH C - L2	1	665 SF
Level 2	TH A - L2	1	662 SF
Level 2	TH B - L2	1	666 SF
Grand total:	4		2572 SF



**3 LEVEL 3 (PODIUM PLAN)**  
 Scale: 1/16" = 1'-0"

**UNIT TYPE**

Level	Name	Count	Area
Level 3	1 BDR	10	6577 SF
Level 3	2 BDR	4	3238 SF
Level 3	ST	10	5089 SF
24			14923 SF

**PRIVATE OPEN SPACE**

Level	Name	Area
Level 3	Private Open Space	1243 SF
Level 4	Private Open Space	517 SF
Level 5	Private Open Space	575 SF
Level 6	Private Open Space	3007 SF
		5343 SF

REQUIRED = STUDIO & 1 BDR = 102 X 30 = 3,060 SF  
 = 2 BDR = 21 X 45 = 945 SF  
 TOTAL REQUIRED = 3,060 + 945 = 4,005 SF



Project:  
**940 Willow Street**

Mixed Use Proposal

Consultant

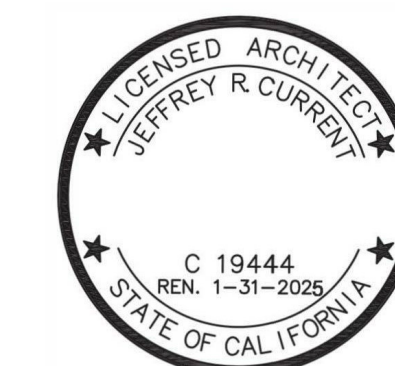
REFERENCE FILE # PRE23-089  
SUBMITTED ON JUNE 12, 2023

**H23-030  
SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



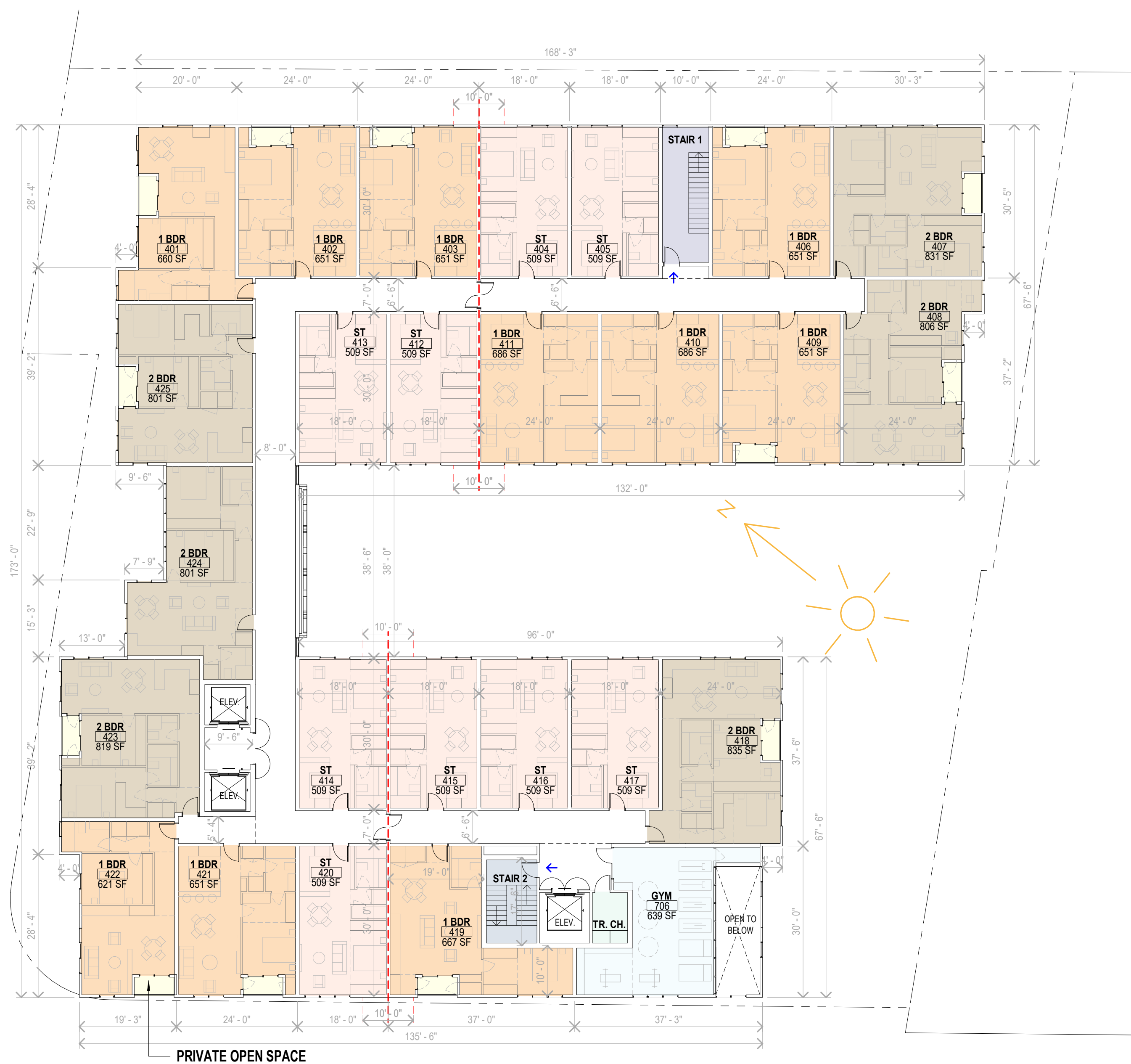
Sheet Information

Issue Date	11/22/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"

Sheet Title

**LEVEL 4 & 5 FLOOR  
PLAN**

**008-A**



**4** Level 4  
Scale: 1/16" = 1'-0"

**UNIT TYPE**

Level	Name	Count	Area
Level 4	1 BDR	10	6573 SF
Level 4	2 BDR	6	4893 SF
Level 4	ST	9	4580 SF
25			16047 SF



**5** Level 5  
Scale: 1/16" = 1'-0"

**UNIT TYPE**

Level	Name	Count	Area
Level 5	1 BDR	10	6562 SF
Level 5	2 BDR	7	5695 SF
Level 5	ST	9	4580 SF
26			16837 SF

**PRIVATE OPEN SPACE**

Level	Name	Area
Level 3	Private Open Space	1243 SF
Level 4	Private Open Space	517 SF
Level 5	Private Open Space	575 SF
Level 6	Private Open Space	3007 SF
		5343 SF

REQUIRED = STUDIO & 1 BDR = 102 X 30 = 3,060 SF  
= 2 BDR = 21 X 45 = 945 SF  
TOTAL REQUIRED = 3,060 + 945 = 4,005 SF

Project:  
**940 Willow Street**  
Mixed Use Proposal  
Consultant

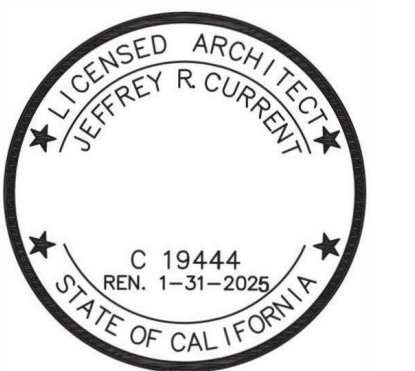
REFERENCE FILE # PRE23-089  
SUBMITTED ON JUNE 12, 2023

**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"

Sheet Title

**LEVEL 6 & 7 FLOOR**  
**PLAN**

**009-A**



**6** Level 6  
Scale: 1/16" = 1'-0"

**UNIT TYPE**

Level	Name	Count	Area
Level 6	1 BDR	11	5863 SF
Level 6	2 BDR	1	851 SF
Level 6	ST	12	5386 SF
		24	13109 SF



**7** Level 7  
Scale: 1/16" = 1'-0"

**UNIT TYPE**

Level	Name	Count	Area
Level 7	1 BDR	9	5520 SF
Level 7	2 BDR	2	1732 SF
Level 7	ST	12	5386 SF
		23	12648 SF

**PRIVATE OPEN SPACE**

Level	Name	Area
Level 3	Private Open Space	1243 SF
Level 4	Private Open Space	517 SF
Level 5	Private Open Space	575 SF
Level 6	Private Open Space	3007 SF
		5343 SF

REQUIRED = STUDIO & 1 BDR = 102 X 30 = 3,060 SF  
= 2 BDR = 21 X 45 = 945 SF  
TOTAL REQUIRED = 3,060 + 945 = 4,005 SF



Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp

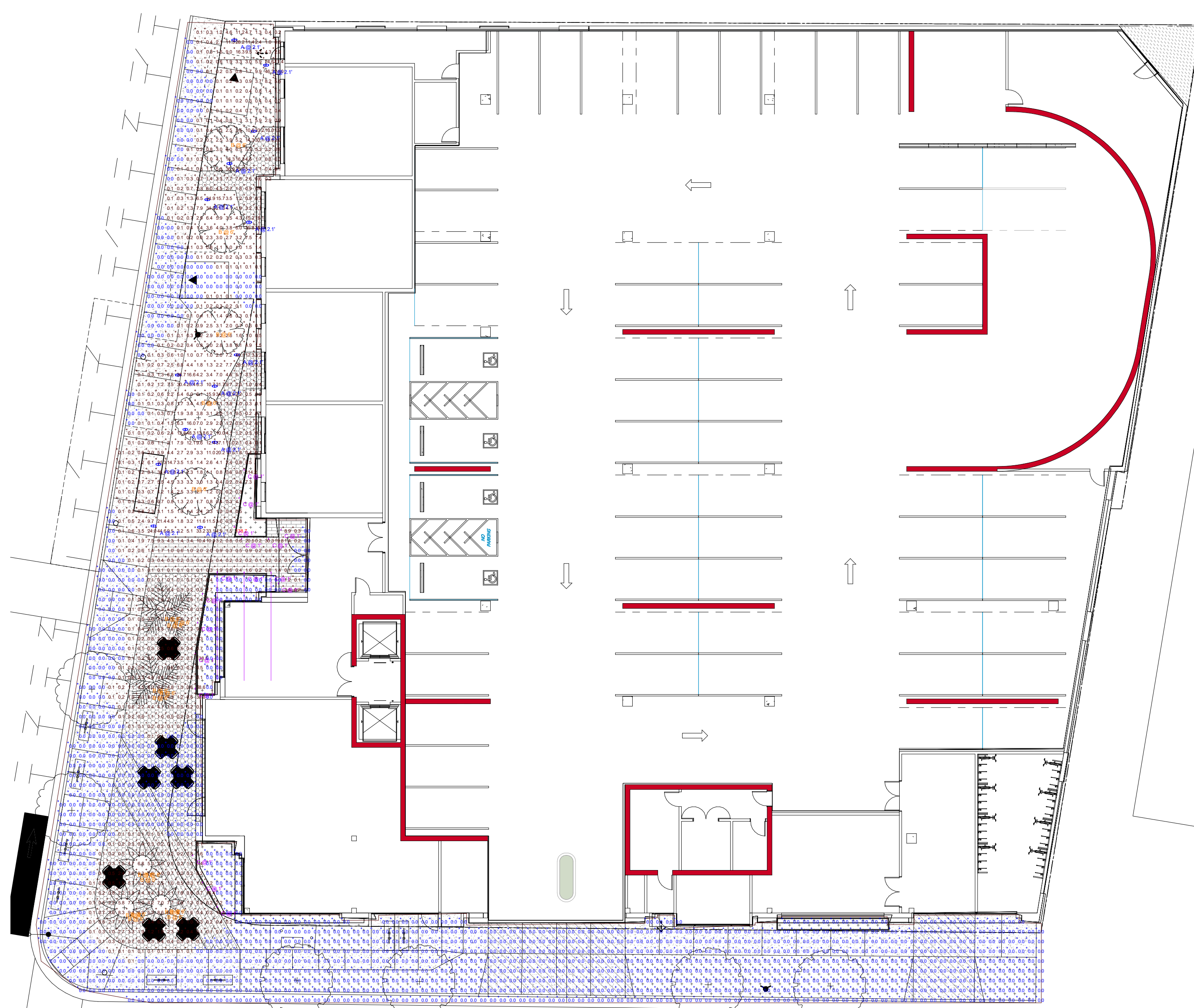


Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"
Sheet Title	

**LIGHTING PLAN**

**011-A**



**1** GROUND FLOOR PHOTOMETRICS  
 Scale: 1/16" = 1'-0"

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Ground Level Area	+	1.6 fc	138.7 fc	0.0 fc	N/A	N/A

Schedule	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Foot
A	PRISMATIC LIGHTING	PRISMATIC LIGHTING	14	PRISMATIC LIGHTING	071657	PRISMATIC LIGHTING	1	1079	0.9	20	
B	LINEAR LIGHTING	LINEAR LIGHTING	10	LINEAR LIGHTING	071657	LINEAR LIGHTING	1	146	0.9	2	Plan View Scale: 1"=8'
C	FLEXLIGHT LIGHTING	FLEXLIGHT LIGHTING	17	FLEXLIGHT LIGHTING	071657	FLEXLIGHT LIGHTING	1	108	0.9	1.5	

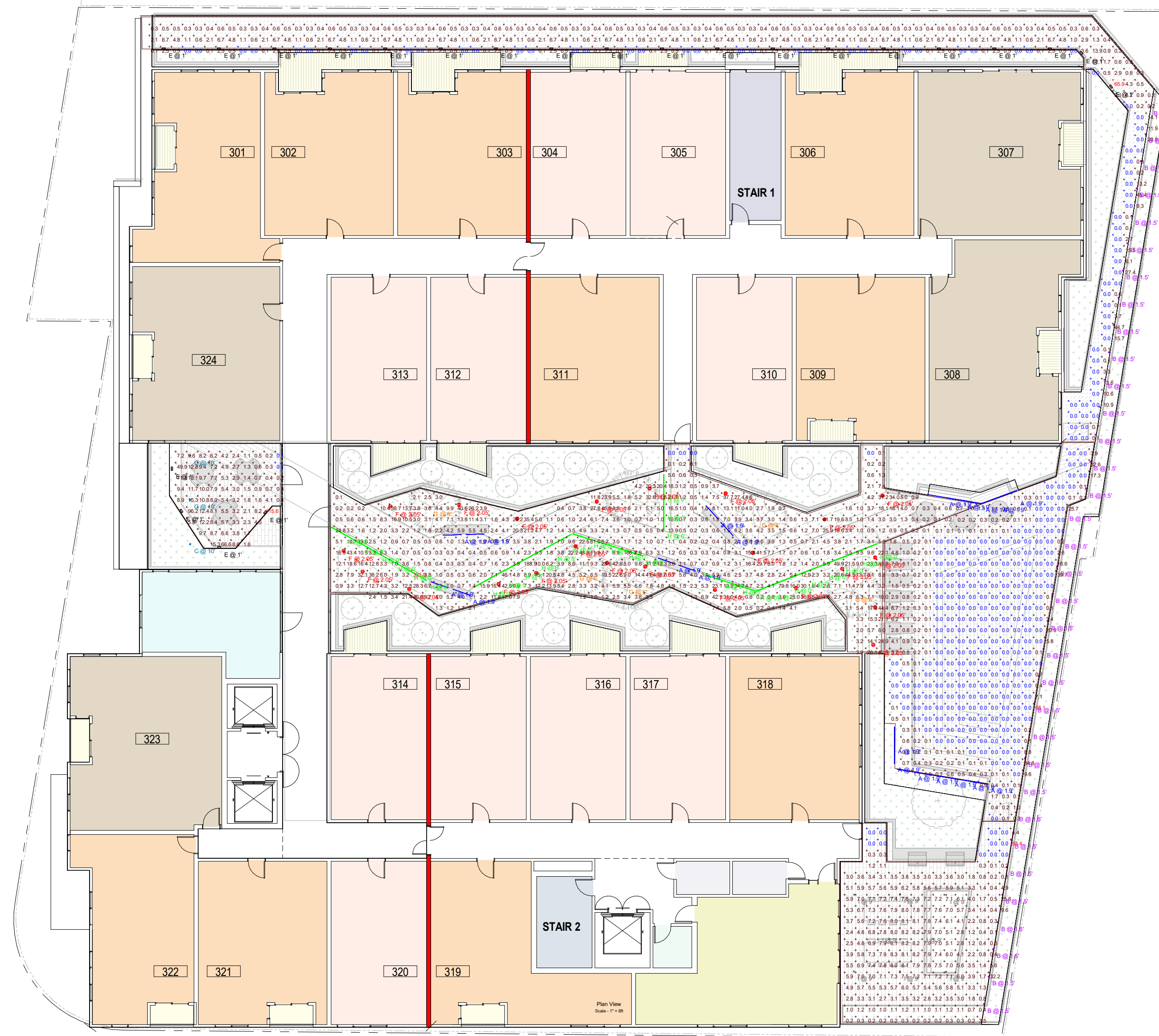
**SECTION 2.3.7 - SITE LIGHTING**

- STANDARD 1 - ORIENT ALL SITE LIGHTING DIRECTLY DOWNWARDS TO PREVENT LIGHT POLLUTION AND EXCESS GLARE IN THE PUBLIC REALM.
- STANDARD 2 - ILLUMINATE A ZONE OF A MAXIMUM OF FIVE FEET IN FRONT OF THE GROUND FLOOR FAÇADE FOR ALL ACTIVE FRONTAGES SUCH AS RETAIL, OFFICES, AND COMMUNITY ROOMS.
- STANDARD 3 - IN GENERAL PLAN RESIDENTIAL AND MIXED-USE LAND USE DESIGNATIONS, THE HEIGHT OF A LIGHTING FIXTURE MUST BE:
  - UP TO THREE FEET FOR WALKING PATHS THROUGH OPEN SPACE.
  - UP TO 12 FEET, WHEN THE DISTANCE OF THE FIXTURE FROM THE ADJACENT RESIDENTIAL PROPERTY LINE IS LESS THAN TWICE THE HEIGHT OF THE FIXTURE.
  - UP TO 25 FEET, WHEN THE DISTANCE OF THE FIXTURE FROM THE ADJACENT SHARED PROPERTY LINE IS MORE THAN TWICE THE HEIGHT OF THE FIXTURE.
  - 12 TO 16 FEET TALL WHEN ADJACENT TO RETAIL.
- STANDARD 6 - ALL SITE LIGHTING FIXTURES MUST BE FULLY SHIELDED (FULL CUT-OFF) TO PREVENT LIGHT FROM AIMING SKYWARD AND LIGHT SPILLAGE AND GLARE THAT CAN BE SEEN FROM ABOVE.
- STANDARD 7 - KEEP THE MAXIMUM COLOR TEMPERATURE FOR OUTDOOR LIGHTING BELOW 2700 KELVIN, EXCEPT FOR OUTDOOR DECORATIVE LIGHTING FROM NOVEMBER 15 TO JANUARY 15

**SECTION 3.3.8 - ARCHITECTURAL LIGHTING**

- STANDARD 1 - ORIENT AT LEAST 90 PERCENT OF EXTERIOR LIGHTING FIXTURES DOWNWARD
- STANDARD 2 - PROVIDE PEDESTRIAN-SCALE LIGHTING TO ILLUMINATE THE GROUND FLOOR BUILDING FAÇADES AND AN ADJACENT FOUR-FOOT WIDE ZONE WITH LIGHTING FIXTURES THAT ARE PLACED:
  - EVERY 40 FEET OR LESS FOR ALL BUILDING FAÇADES TO ILLUMINATE THE SIDEWALK ALONG PRIMARY AND SECONDARY STREETS.
  - EVERY 30 FEET OR LESS FOR ALL BUILDING FAÇADES FACING PUBLIC OPEN SPACES, PASEOS, AND POPODS.

**2** LEVEL 3 PHOTOMETRICS  
 Scale: 1/16" = 1'-0"



**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Awning Area	+	4.6 fc	58.4 fc	0.0 fc	N/A	N/A
Exterior Patio Area	+	10.4 fc	115.6 fc	0.1 fc	1156.0:1	104.0:1
Outer Walkway/ Balcony	+	2.1 fc	65.9 fc	0.0 fc	N/A	N/A
Podium Area	+	9.0 fc	321.9 fc	0.0 fc	N/A	N/A
Pool Area	+	1.0 fc	65.1 fc	0.0 fc	N/A	N/A

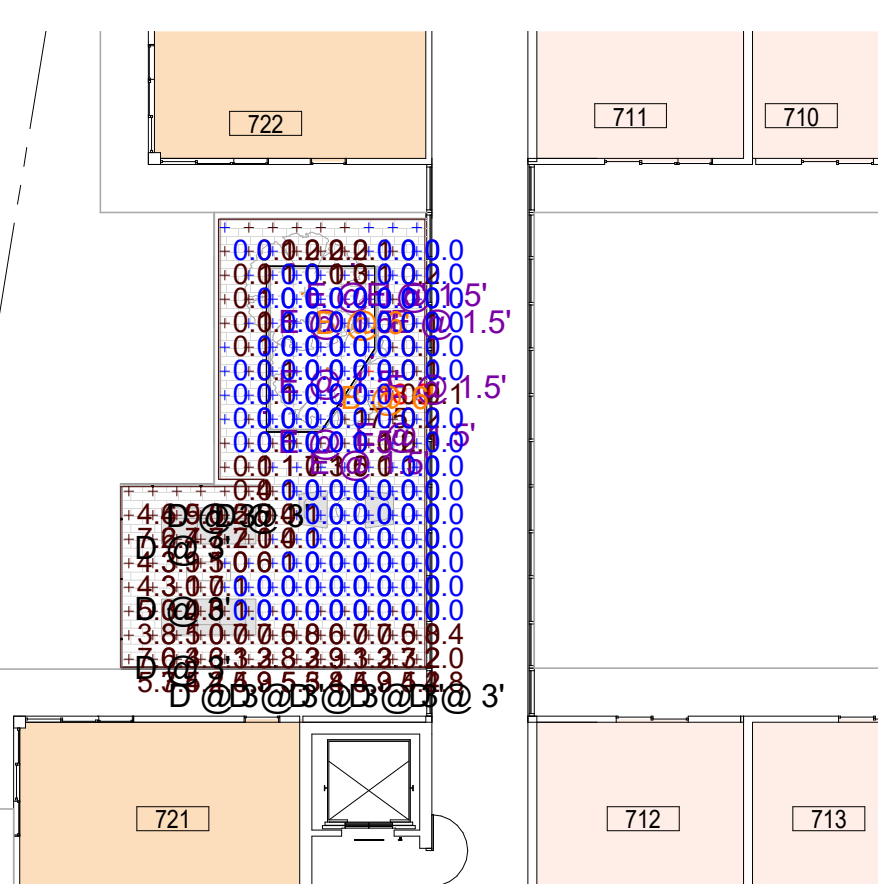
Schedule	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Foot
A	ORGANIC LIGHTING	ORGANIC LIGHTING	20	ORGANIC LIGHTING	071657	ORGANIC LIGHTING	1	84	0.9	1.1	
B	FLEXLIGHT LIGHTING	FLEXLIGHT LIGHTING	34	FLEXLIGHT LIGHTING	071657	FLEXLIGHT LIGHTING	1	108	0.9	1.5	
C	CEL LIGHTING	CEL LIGHTING	3	CEL LIGHTING	071657	CEL LIGHTING	1	1079	0.9	16.0	
D	SPECTRUM LIGHTING	SPECTRUM LIGHTING	0	SPECTRUM LIGHTING	071657	SPECTRUM LIGHTING	1	1231	0.9	10	
E	REC-EP LIGHTING	REC-EP LIGHTING	23	REC-EP LIGHTING	071657	REC-EP LIGHTING	15	21	0.85	11	
F	PRISMATIC LIGHTING	PRISMATIC LIGHTING	071657	PRISMATIC LIGHTING	071657	PRISMATIC LIGHTING	1	1079	0.9	20	
G	LINEAR LIGHTING	LINEAR LIGHTING	10	LINEAR LIGHTING	071657	LINEAR LIGHTING	1	146	0.9	2	

**Statistics**

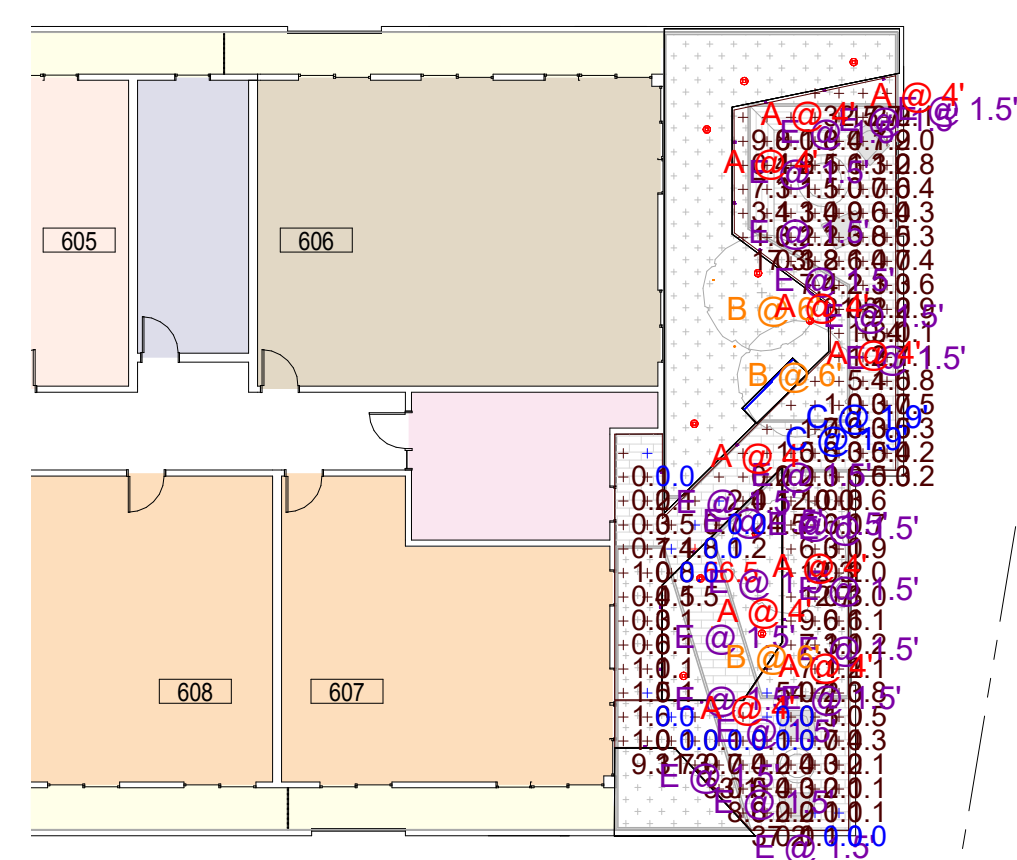
Description	Symbol	Avg	Max	Min
Roof Garden- Level 6 Upper Rightside	+	3.2 fc	56.5 fc	0.0 fc
Roof Garden- Level 7 Lower Leftside	+	1.2 fc	18.9 fc	0.0 fc

Schedule	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Foot
A	PRISMATIC LIGHTING	PRISMATIC LIGHTING	14	PRISMATIC LIGHTING	071657	PRISMATIC LIGHTING	1	1079	0.9	20	
B	LINEAR LIGHTING	LINEAR LIGHTING	10	LINEAR LIGHTING	071657	LINEAR LIGHTING	1	146	0.9	2	
C	ORGANIC LIGHTING	ORGANIC LIGHTING	20	ORGANIC LIGHTING	071657	ORGANIC LIGHTING	1	84	0.9	1.1	
D	FLEXLIGHT LIGHTING	FLEXLIGHT LIGHTING	17	FLEXLIGHT LIGHTING	071657	FLEXLIGHT LIGHTING	1	108	0.9	1.5	
E	FLEXLIGHT LIGHTING	FLEXLIGHT LIGHTING	17	FLEXLIGHT LIGHTING	071657	FLEXLIGHT LIGHTING	1	108	0.9	1.5	

**3** Level 7 PHOTOMETRICS  
 Scale: 1/16" = 1'-0"



**4** Level 6 PHOTOMETRICS  
 Scale: 1/16" = 1'-0"





**STUDIO  
CURRENT**  
URBAN DESIGN + ARCHITECTURE  
56 N. Third Street, Suite 110, San Jose, CA, 95112  
T. 408.816.2008 www.studiocurrent.com

Project:  
**940 Willow Street**

Mixed Use Proposal

Consultant

REFERENCE FILE # PRE23-089  
SUBMITTED ON JUNE 12, 2023

**H23-030  
SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"

Sheet Title

**EXTERIOR  
ELEVATIONS**

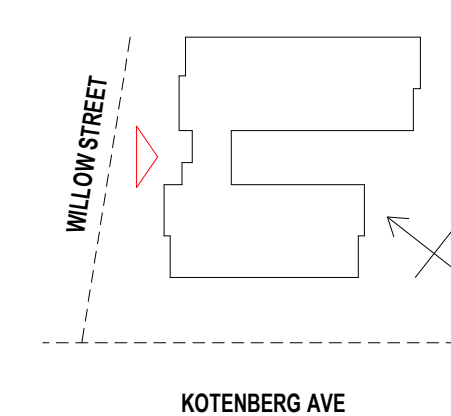
**012-A**

COPYRIGHT ©2014 STUDIO CURRENT



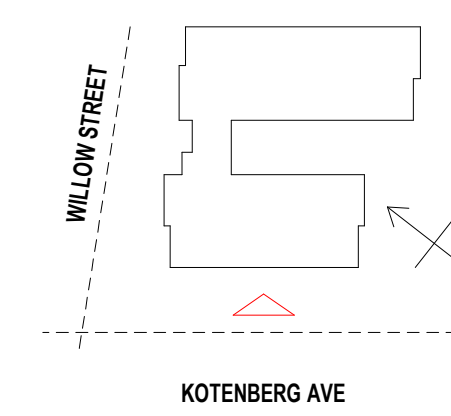
**1 WILLOW STREET ELEVATION**

Scale: 1/16" = 1'-0"



**2 KOTENBERG AVENUE ELEVATION**

Scale: 1/16" = 1'-0"



THE WHITE BRICK BASE - STOREFRONT



THE WHITE BRICK BASE - RESIDENTIAL INFLUENCE



THE STUCCO & WOOD PANNELING - INFLUENCE



THE FACADE AND ROOF INSPIRATION





**STUDIO  
CURRENT**  
URBAN DESIGN + ARCHITECTURE  
56 N. Third Street, Suite 110, San Jose, CA, 95112  
T. 408.816.2000 www.studiocurrent.com

Project:  
**940 Willow Street**

Mixed Use Proposal

Consultant

REFERENCE FILE # PRE23-089  
SUBMITTED ON JUNE 12, 2023

**H23-030  
SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"

Sheet Title

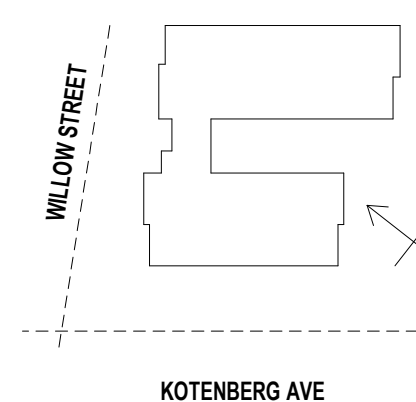
**EXTERIOR  
ELEVATIONS**

**013-A**

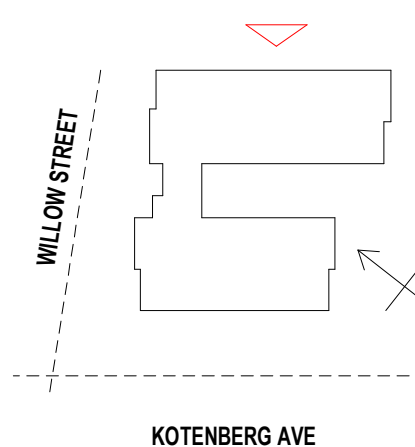
COPYRIGHT ©2014 STUDIO CURRENT



**3 Elevation South-East**  
Scale: 1/16" = 1'-0"



**4 Elevation North-East**  
Scale: 1/16" = 1'-0"



THE WHITE BRICK BASE - STOREFRONT



THE WHITE BRICK BASE - RESIDENTIAL INFLUENCE



THE STUCCO & WOOD PANNELING - INFLUENCE

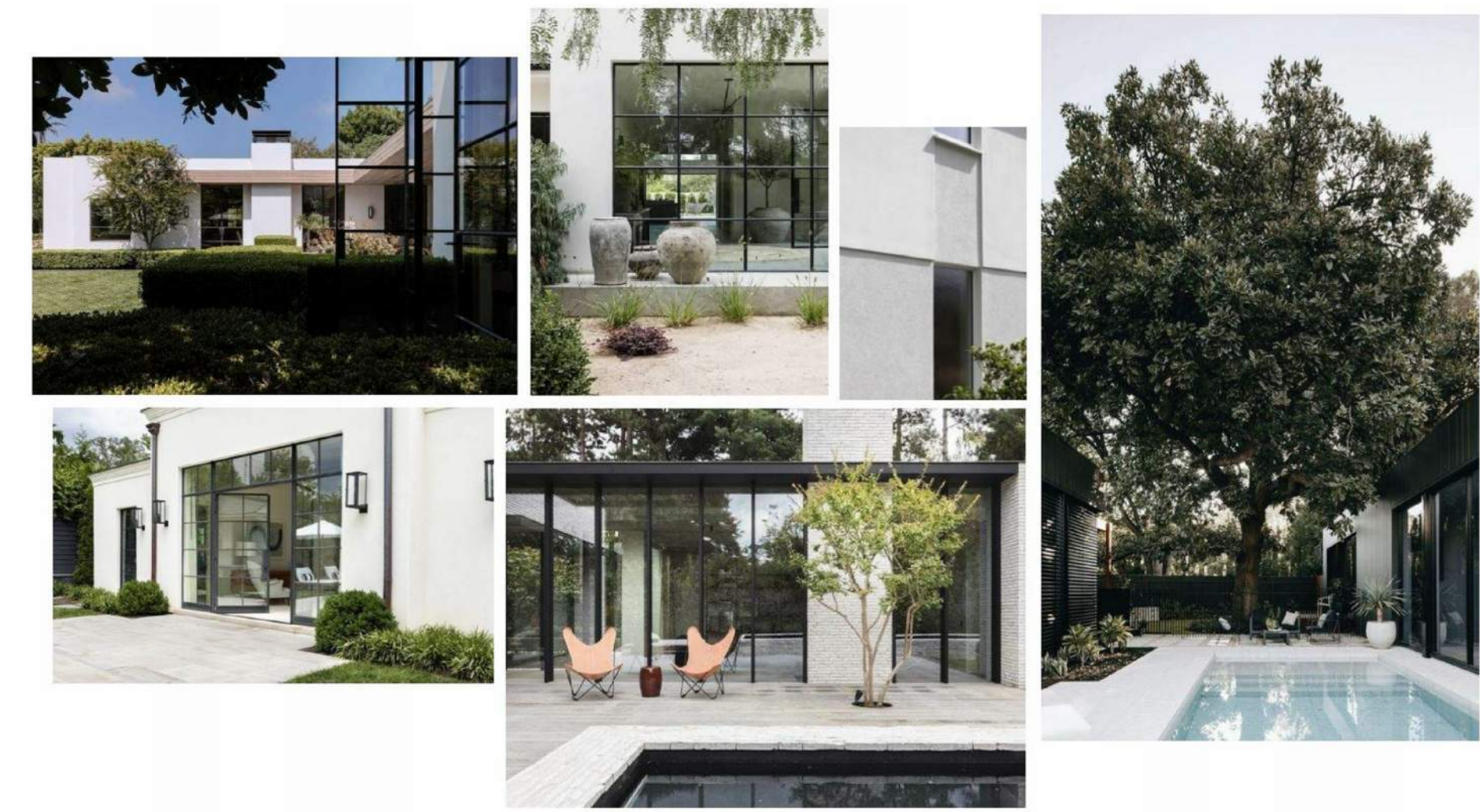


THE FACADE AND ROOF INSPIRATION



**STUDIO  
CURRENT**  
URBAN DESIGN + ARCHITECTURE  
56 N. Third Street, Suite 110, San Jose, CA, 95112  
T. 408.816.2009 www.studiocurrent.com

Project:  
**940 Willow Street**  
Mixed Use Proposal  
Consultant



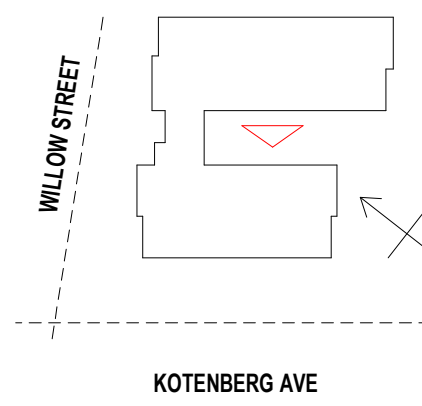
THE LANDSCAPE - INFLUENCE



THE LANDSCAPE - INFLUENCE

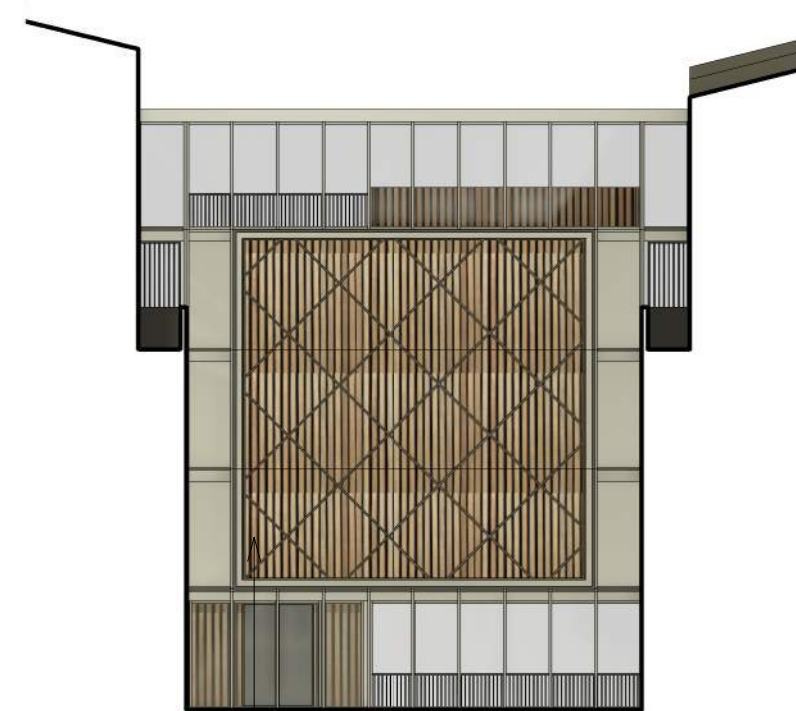


**1** COURTYARD ELEVATION North-East  
Scale: 1/16" = 1'-0"

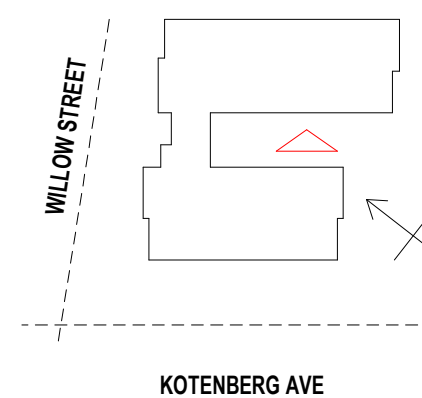
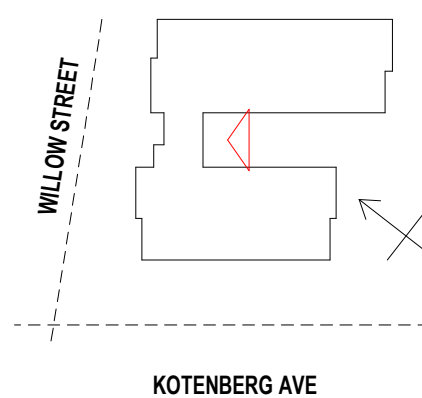


METAL PANEL    STUCCO    DECORATIVE WOOD PANELS    WHITE BRICK  
BIRD SAFETY GLAZING WHERE REQUIRED

**2** COURTYARD Elevation South-East  
Scale: 1/16" = 1'-0"



CABLE LIGHTS /  
SESONAL DECOR  
PLACE HOLDER



**3** COURTYARD ELEVATION South-West  
Scale: 1/16" = 1'-0"



WHITE BRICK    METAL PANEL    STUCCO  
BIRD SAFETY GLAZING WHERE REQUIRED

REFERENCE FILE # PRE23-089  
SUBMITTED ON JUNE 12, 2023

**SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023

Stamp



Sheet Information

Issue Date	10/05/23
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"

Sheet Title  
**EXTERIOR  
ELEVATIONS**

**014-A**



**STUDIO  
CURRENT**  
URBAN DESIGN + ARCHITECTURE  
56 N. Third Street, Suite 110, San Jose, CA, 95112  
T. 408.816.2009 www.studiocurrent.com

Project:  
**940 Willow Street**

Mixed Use Proposal

Consultant

REFERENCE FILE # PRE23-089  
SUBMITTED ON JUNE 12, 2023

**H23-030  
SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"

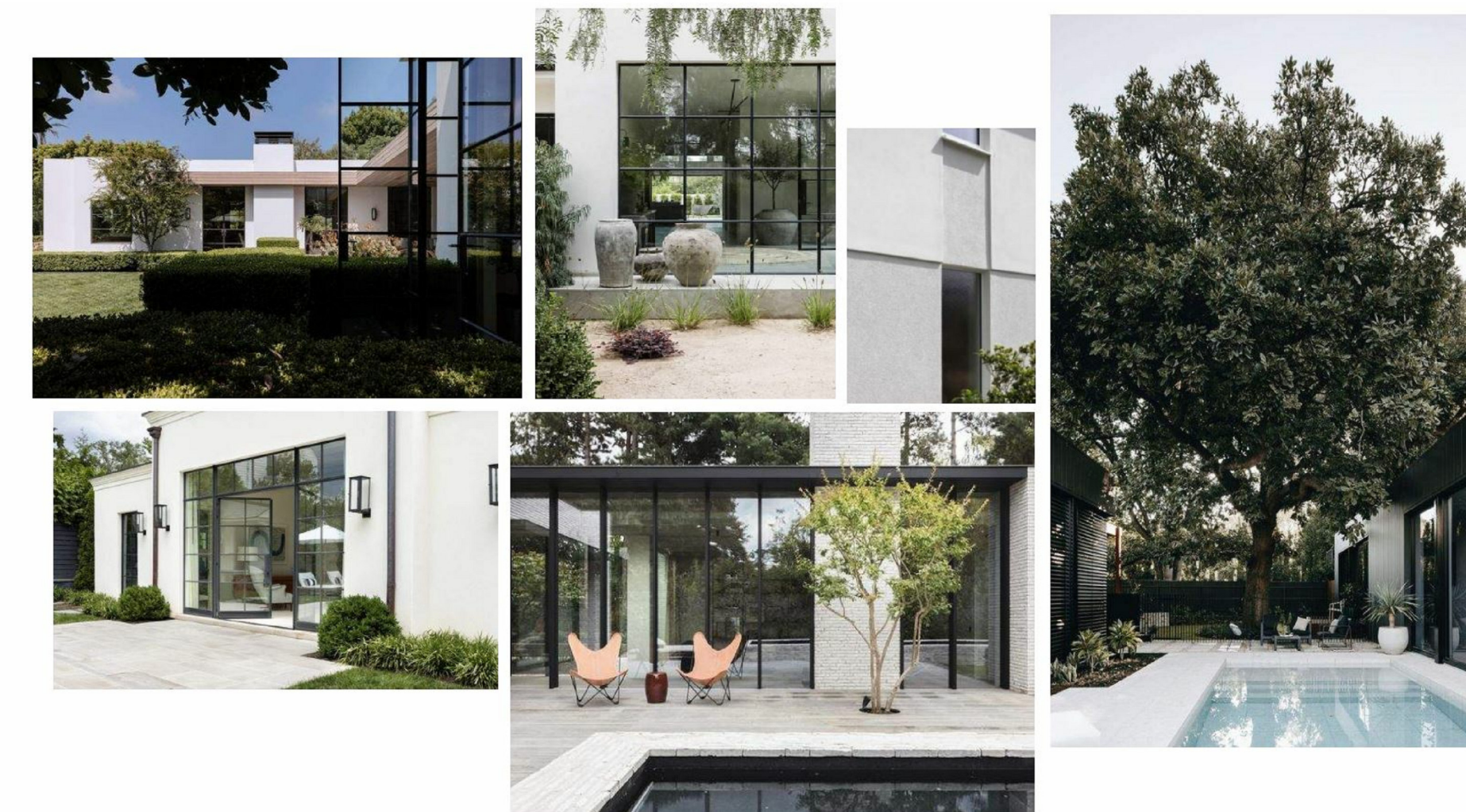
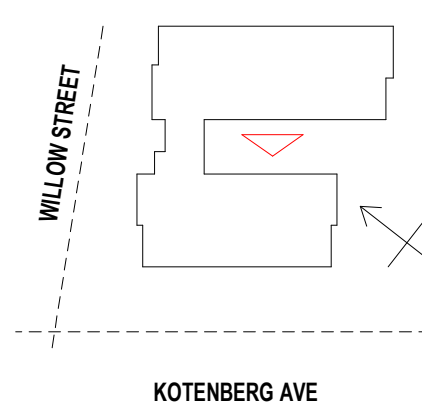
Sheet Title  
**EXTERIOR  
ELEVATIONS**

**014A-A**

COPYRIGHT ©2014 STUDIO CURRENT



**1** COURTYARD ELEVATION North-East  
Scale: 1/16" = 1'-0"



THE LANDSCAPE - INFLUENCE



THE LANDSCAPE - INFLUENCE



**2** COURTYARD Elevation South-East  
Scale: 1/16" = 1'-0"



**3** COURTYARD ELEVATION South-West  
Scale: 1/16" = 1'-0"



Project:  
**940 Willow Street**

Mixed Use Proposal

Consultant

**H23-030  
SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"

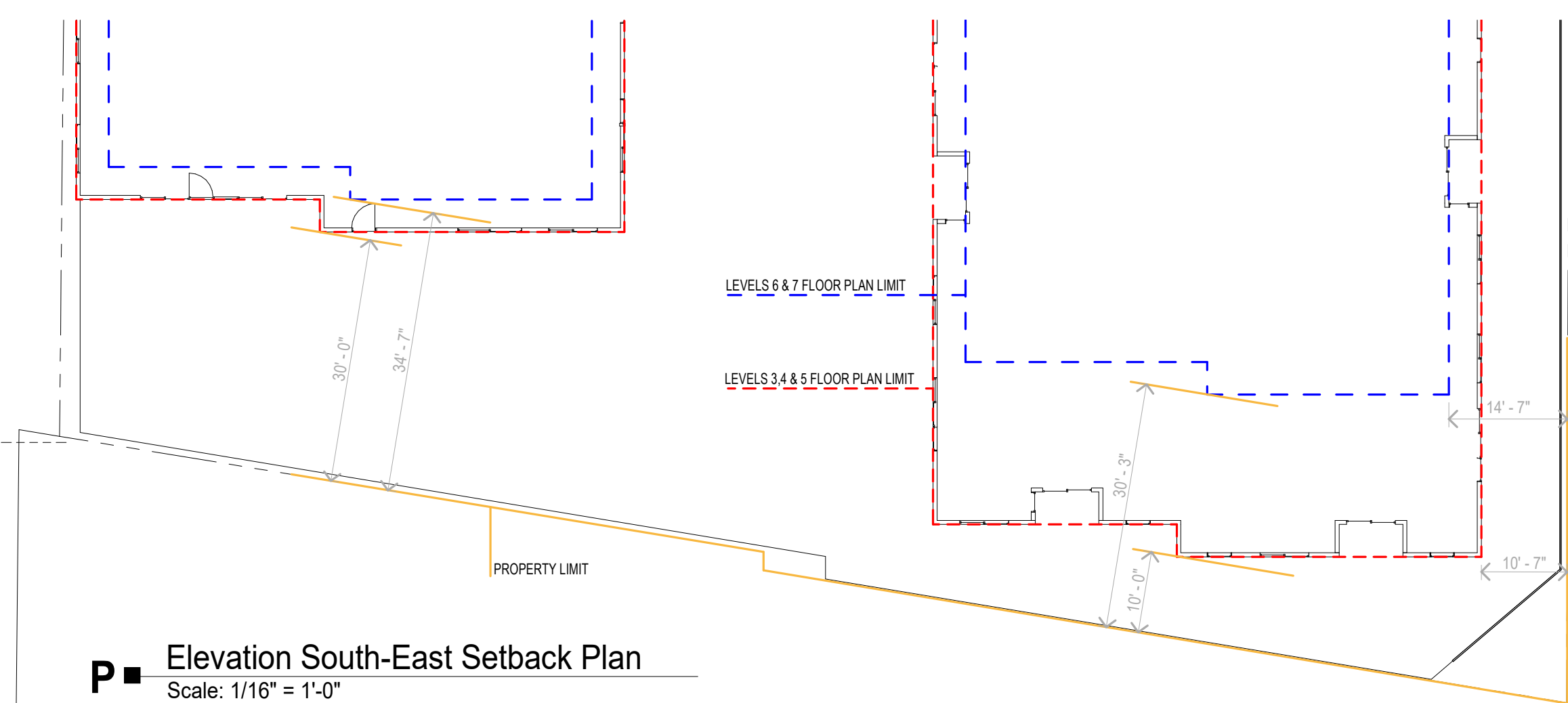
Sheet Title

**OPENINGS ANALYSIS**

**014B-A**



**SE** Elevation South-East - Opening Analysis  
Scale: 1/16" = 1'-0"

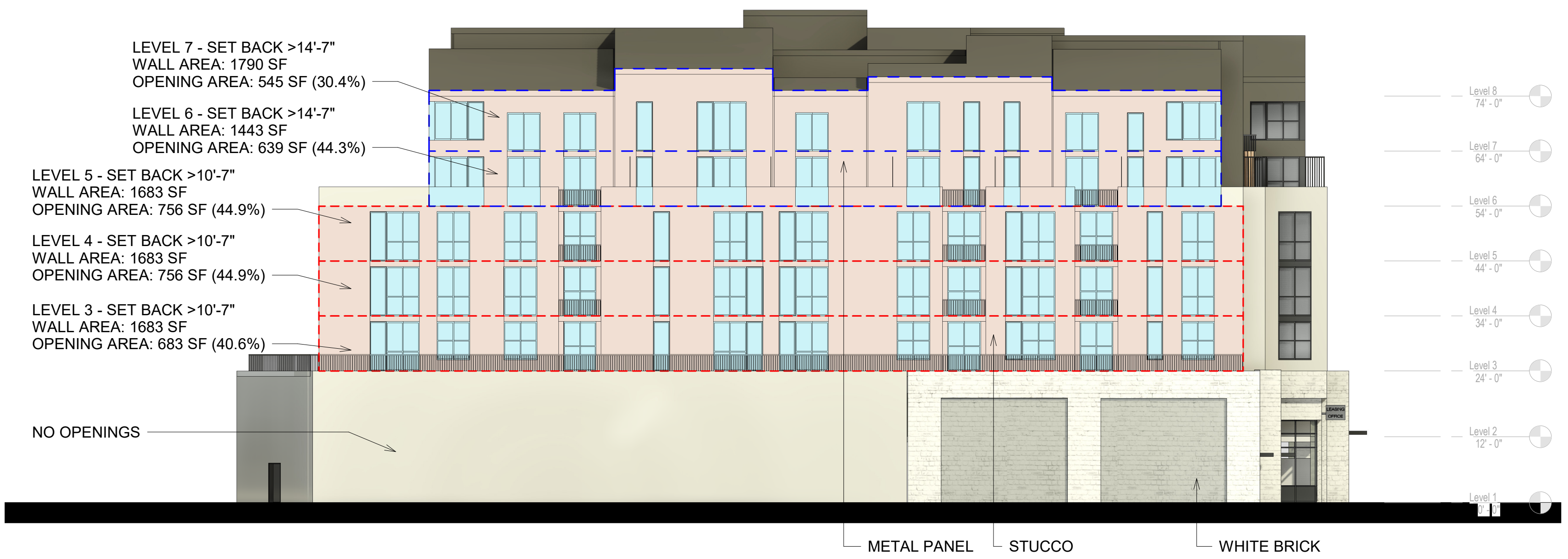


**P** Elevation South-East Setback Plan  
Scale: 1/16" = 1'-0"

FIRE SEPARATION DISTANCE	DEGREE OF OPENINGS PROTECTION	ALLOWABLE AREA
10 TO LESS THAN 15 FEET	UNPROTECTED, SPRINKLERED	45%
MORE THAN 20 FEET	UNPROTECTED, SPRINKLERED	NO LIMIT

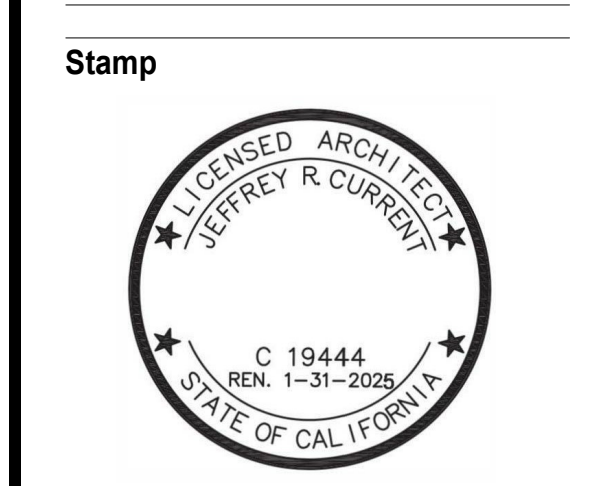
LEVELS 6 & 7	LEVELS 3, 4 & 5	PROPERTY LIMIT
--------------	-----------------	----------------



**NE** Elevation North-East - Opening Analysis  
Scale: 1/16" = 1'-0"



No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023



Sheet Information

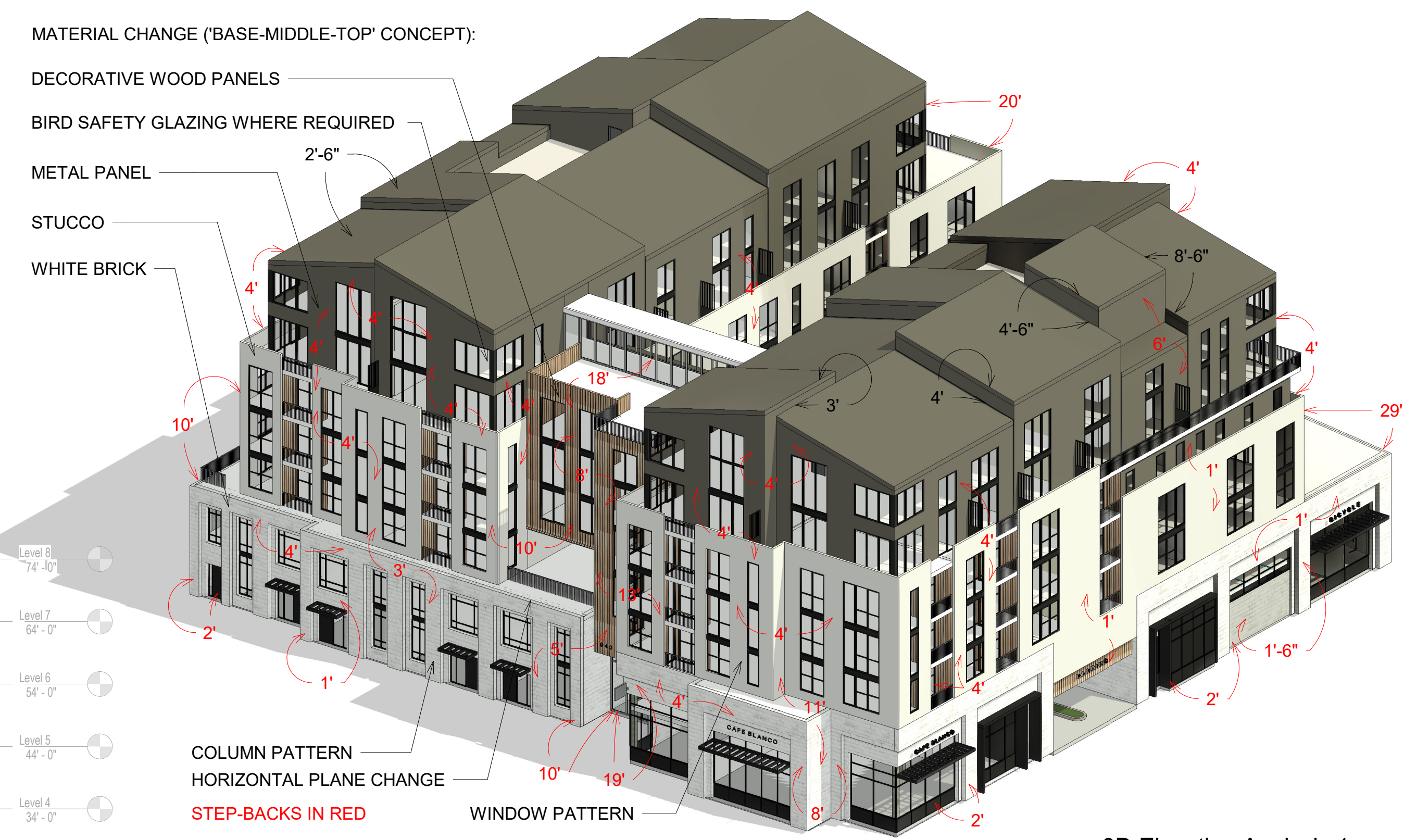
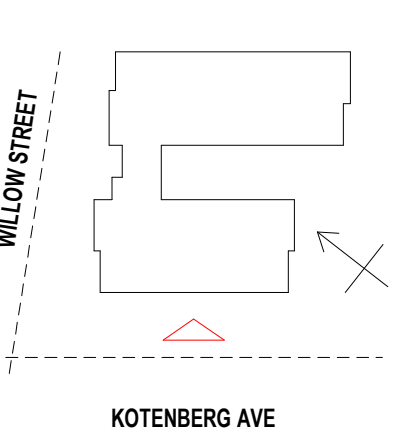
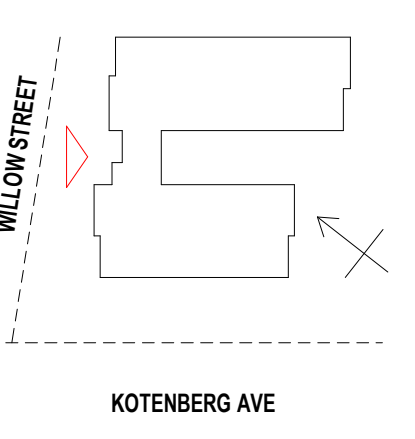
Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/16" = 1'-0"

Sheet Title

**ELEVATIONS  
ANALYSIS**

**014C-A**

COPYRIGHT ©2014 STUDIO CURRENT





Project:  
**940 Willow Street**

Mixed Use Proposal

Consultant

REFERENCE FILE # PRE23-089  
SUBMITTED ON JUNE 12, 2023

**H23-030  
SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



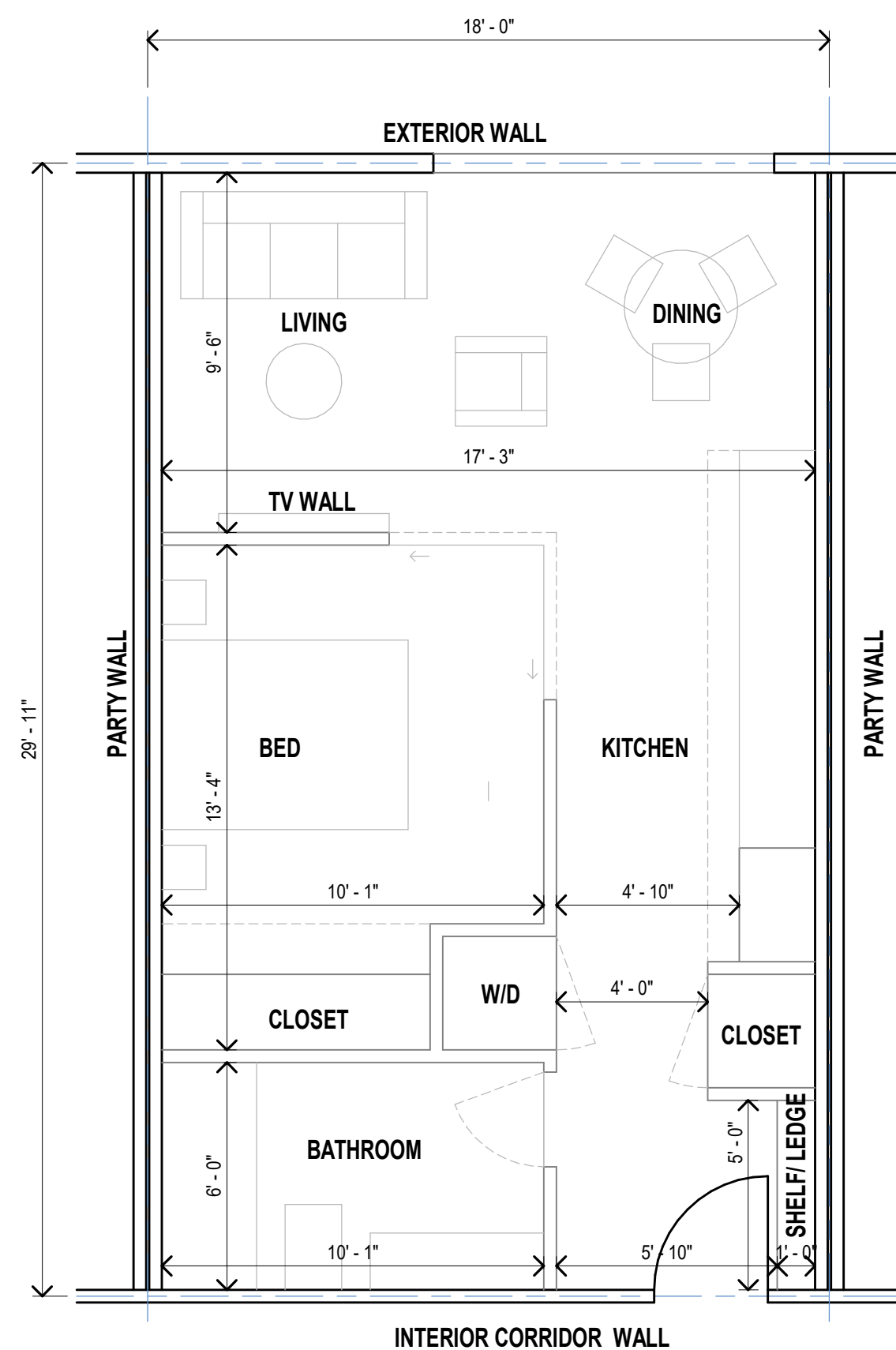
Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	1/4" = 1'-0"

Sheet Title

TYPICAL UNIT LAYOUT

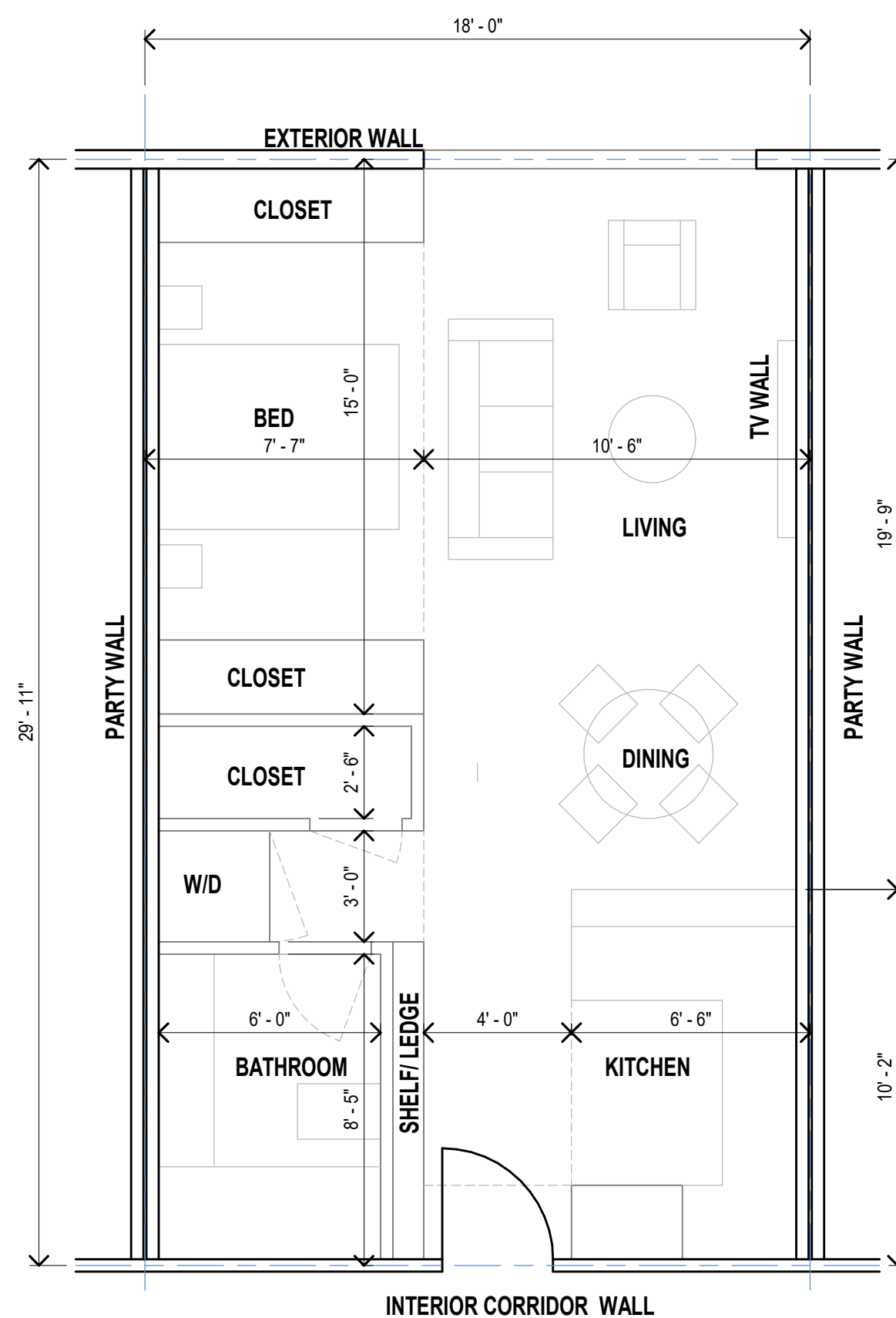
**015-A**



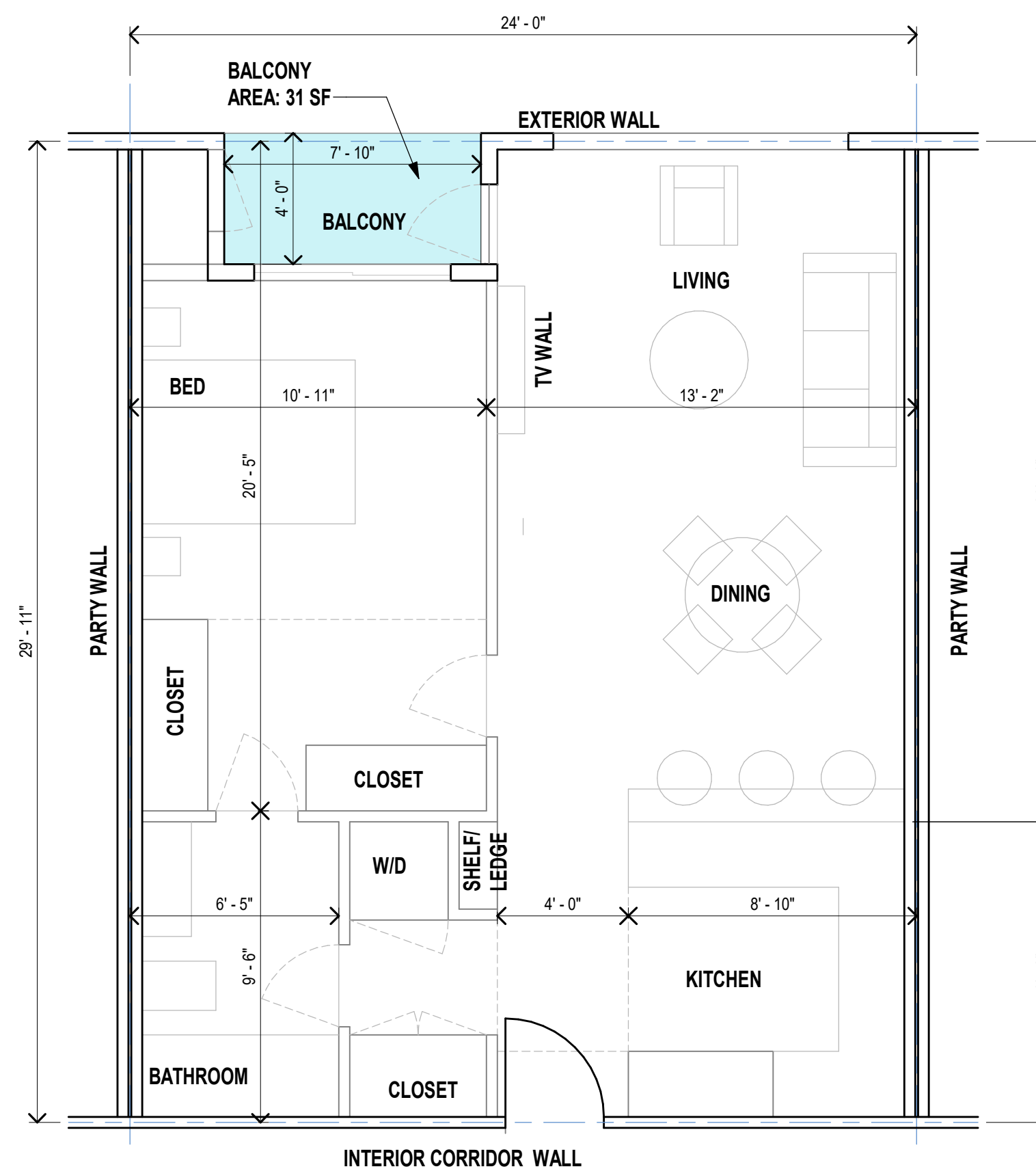
NET AREA 509 SF  
GROSS AREA 540 SF

**TYPICAL STUDIO UNIT PLAN**

SCALE: 1/4" = 1'-0"



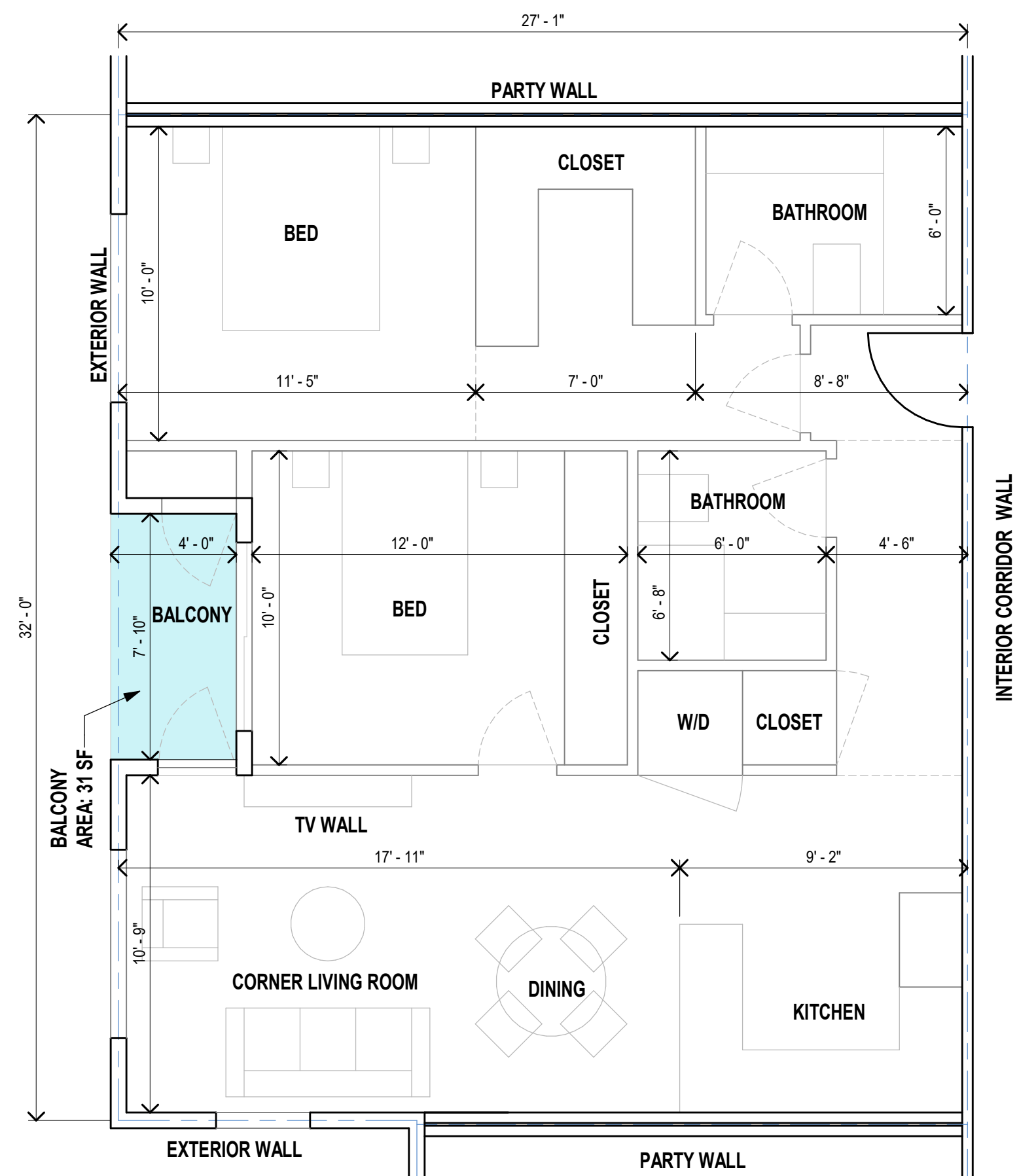
NET AREA 509 SF  
GROSS AREA 540 SF



NET AREA 686 SF  
GROSS AREA 720 SF

**TYPICAL 1 BED UNIT PLAN**

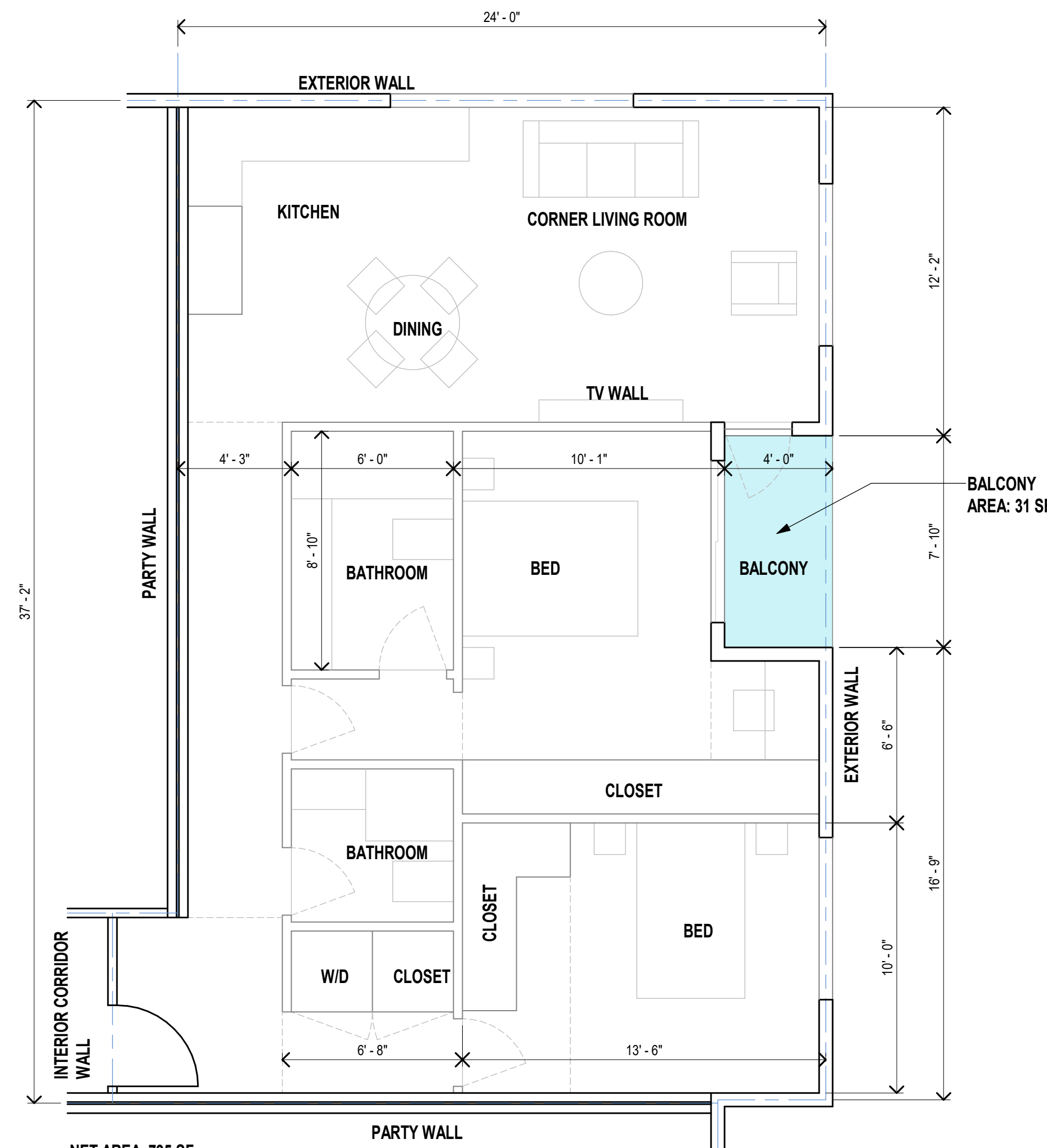
SCALE: 1/4" = 1'-0"



NET AREA 761 SF  
GROSS AREA 801 SF

**TYPICAL 2 BED UNIT PLAN**

SCALE: 1/4" = 1'-0"



NET AREA 795 SF  
GROSS AREA 835 SF

**TYPICAL 2 BED UNIT PLAN**

SCALE: 1/4" = 1'-0"



**STUDIO  
CURRENT**  
URBAN DESIGN + ARCHITECTURE  
56 N. Third Street, Suite 110, San Jose, CA, 95112  
T. 408.816.2000 www.studiocurrent.com

Project:  
**940 Willow Street**

Mixed Use Proposal

Consultant

REFERENCE FILE # PRE23-089  
SUBMITTED ON JUNE 12, 2023

**H23-030  
SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	

Sheet Title

PROPOSED BUILDING  
3D PERSPECTIVES

**016-A**

COPYRIGHT ©2014 STUDIO CURRENT



**A** VIEW FROM WILLOW LOOKING TOWARDS KOTENBERG  
Scale:



**B** VIEW FROM WILLOW  
Scale:



**C** VIEW @ CORNER OF WILLOW AND KOTENBERG  
Scale:



**D** VIEW FROM KOTENBERG LOOKING TOWARDS WILLOW  
Scale:



Project:  
**940 Willow Street**

Mixed Use Proposal

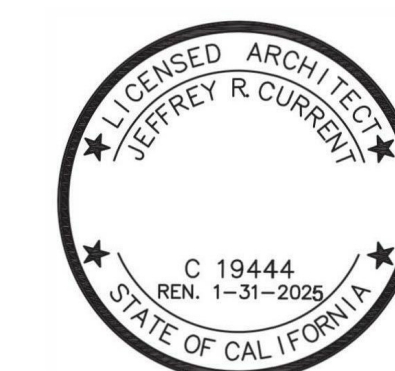
Consultant

**H23-030  
SITE DEVELOPMENT  
PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

Issue Date	12/01/2023
Job Number	Project Number
Drawn	Author
Checked	Checker
Approved	Designer
Scale	As indicated

Sheet Title

SIGNAGE

**017-A**



**1** WILLOW STREET ELEVATION- SIGNAGE  
Scale: 1/4" = 1'-0"

TYPE 4  
FIN SIGN - (TENANT SIGN) A TWO SIDED SIGN  
INTENDED TO BE VIEWED FROM SIDE

TYPE 2  
TENANT SIGN

TYPE 1  
FLAT MOUNTED SIGN - SIGN MOUNTED FLUSH OR  
PARALLEL TO THE SURFACE OF BUILDING FACADE



TYPE 3

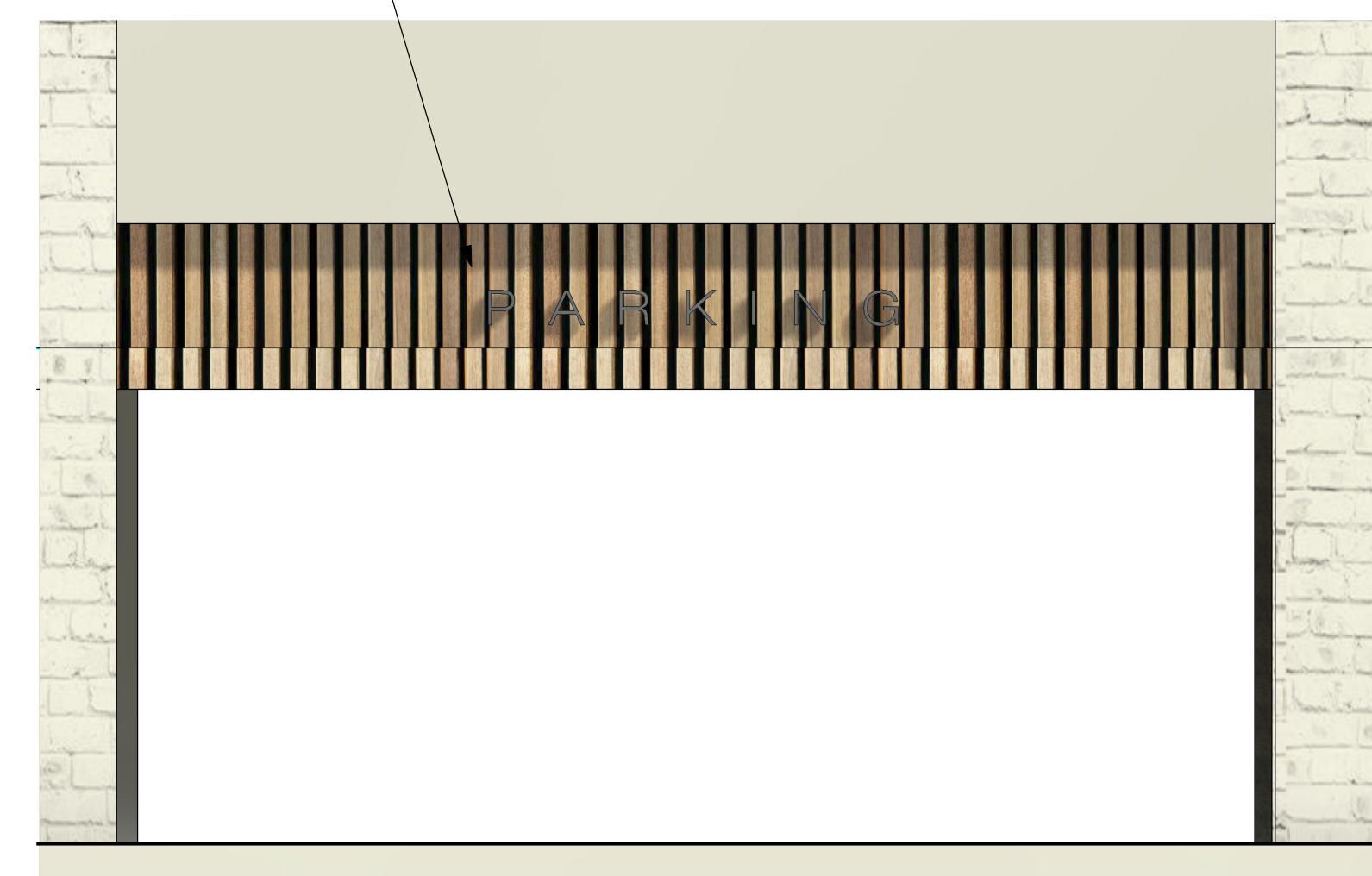
TYPE 3  
FLAT MOUNTED SIGN - SIGN MOUNTED FLUSH OR  
PARALLEL TO THE SURFACE OF BUILDING FACADE



TYPE 1 (SIGNAGE BACKLIT)



TYPE 4

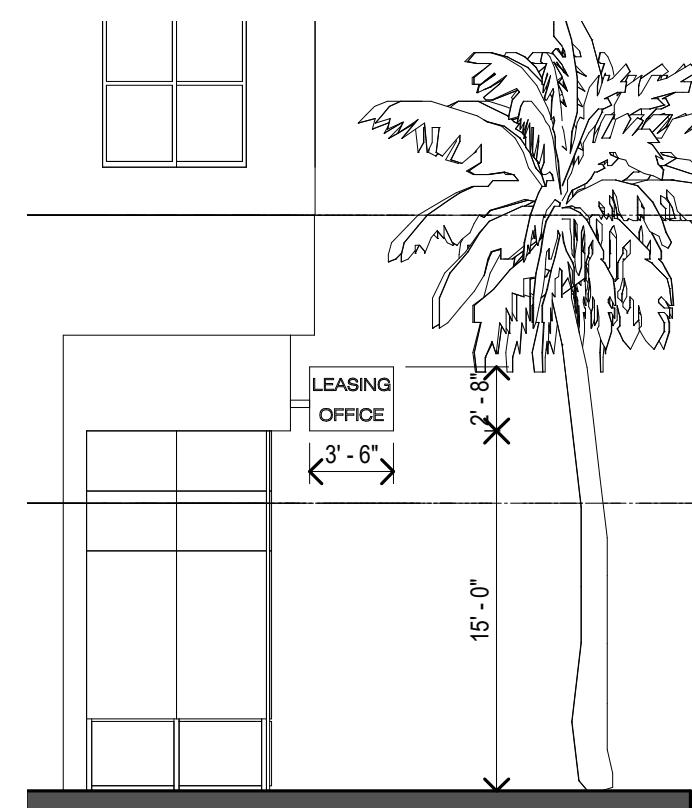


**4** KOTENBERG AVENUE SIGNAGE  
Scale: 1/4" = 1'-0"



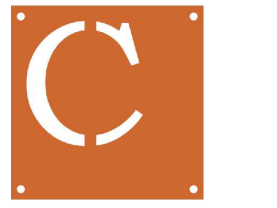
TYPE 2

**2** WILLOW STREET SIGNAGE VIEWS  
Scale:



**3** SECTION SHOWING FIN SIGN  
Scale: 1/8" = 1'-0"





**STUDIO current**  
 URBAN DESIGN + ARCHITECTURE  
 96 N. Third Street, Suite 110, San Jose, CA, 95112  
 T. 408.816.2000 www.studiocurrent.com

Project:  
**940 WILLOW ST.,  
 SAN JOSE, CA  
 Mixed Use Proposal**  
 Consultant

**HMMH**  
 1570 Oakland Road (408) 487-2200  
 San Jose, CA 95131 HMMhca.com

**PRELIMINARY REVIEW**

Revision


Stamp



Not for Construction

Sheet Information

Issue Date	12/1/2023
Job Number	6666.01
Drawn	NT
Checked	JC
Approved	MD
Scale	AS SHOWN

Sheet Title

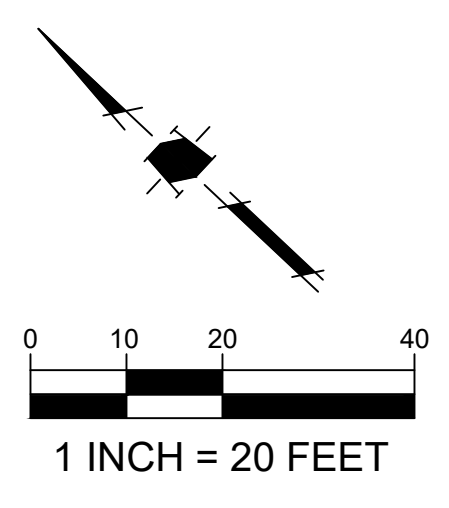
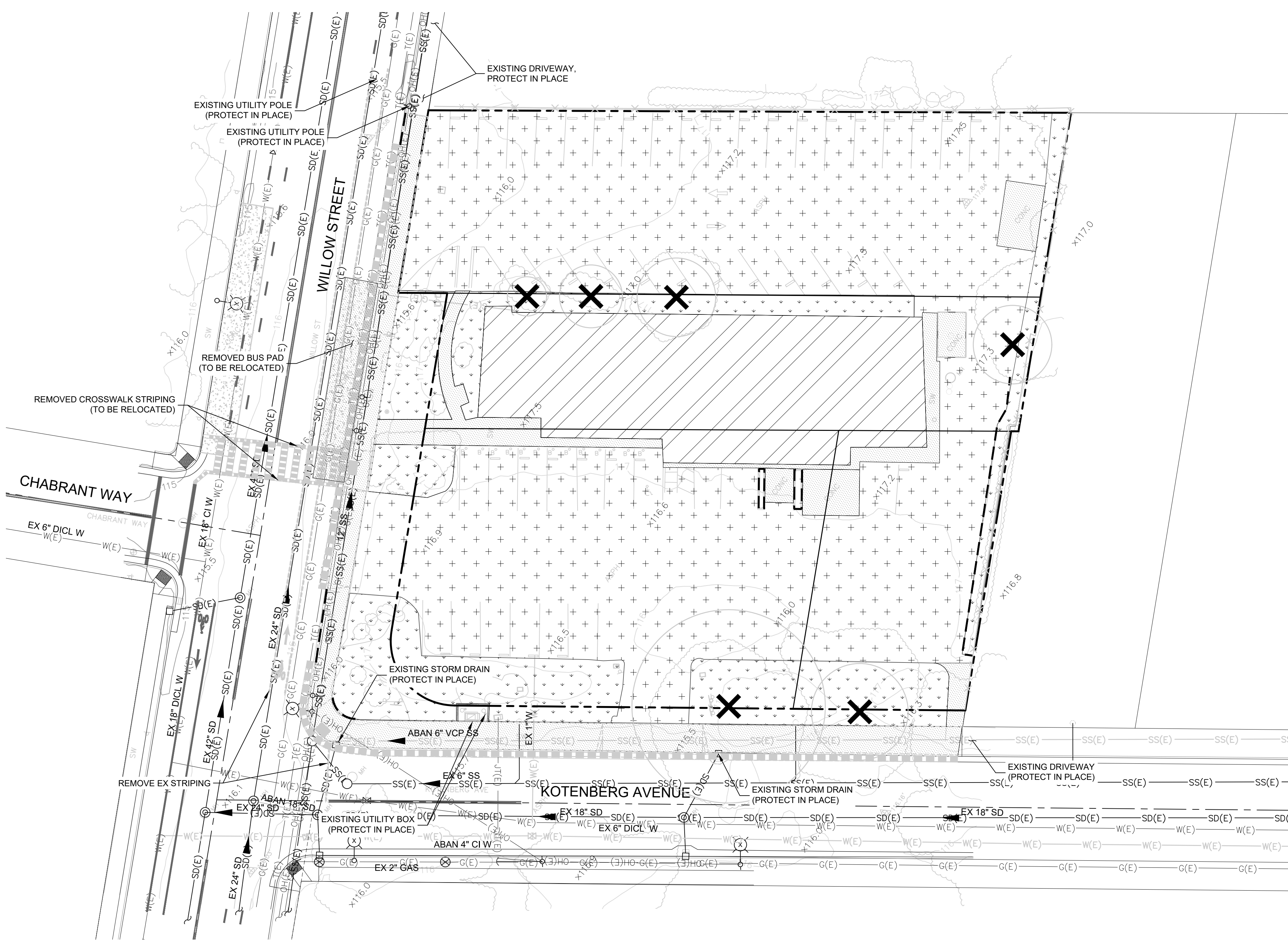
**EXISTING CONDITIONS & DEMOLITION PLAN**

**C101**

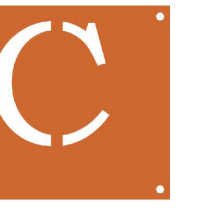
**DEMOLITION LEGEND:**

- EXISTING BUILDING & APPURTENANCES TO BE REMOVED
- REMOVE ALL SHRUBS AND VEGETATION WITHIN THE LIMIT OF WORK (SEE DEMOLITION NOTE 18)
- REMOVE ALL ASPHALT PAVEMENT, FENCES, ARBORS & APPURTENANCES
- REMOVE ALL CONCRETE, FENCES, ARBORS & APPURTENANCES
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE (SEE DEMOLITION NOTE 18)
- EXISTING FENCE OR WALL TO BE REMOVED
- EXISTING STORM DRAIN PIPE TO BE REMOVED
- EXISTING STORM DRAIN INLET TO BE REMOVED
- EXISTING TRANSFORMER TO BE REMOVED
- EXISTING CURB TO BE REMOVED
- EXISTING CURB & GUTTER TO BE REMOVED
- SAWCUT LINE
- SITE BOUNDARY

NOTE: ALL EXISTING UTILITIES LOCATED IN THE PUBLIC RIGHT OF WAY SHOULD BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE.

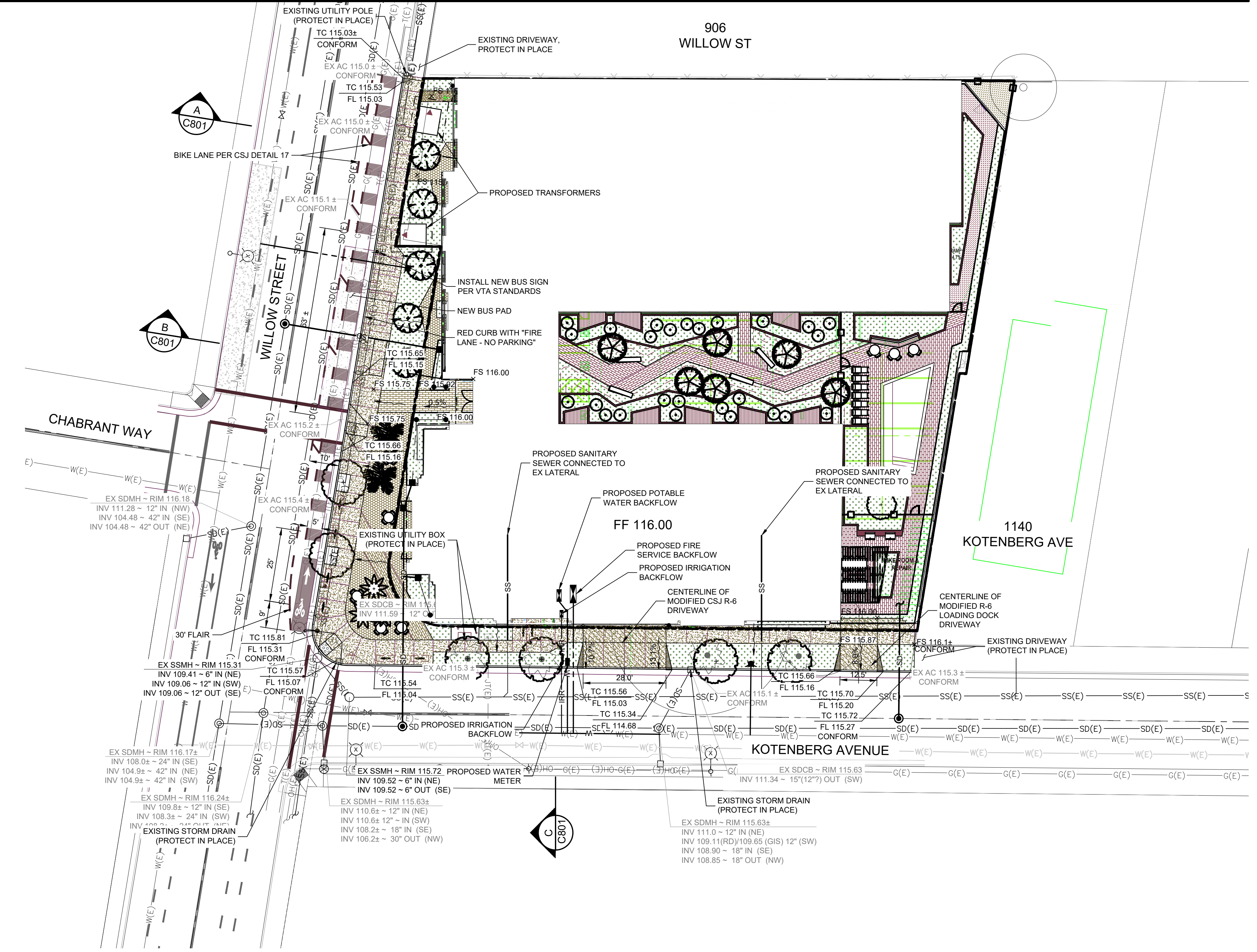


S:\PROJECTS\66660\PLINTITLEMENT PLANS\PLINTITLEMENT DRAWINGS\66660PEX & DM.DWG. 12/1/2023 3:17 PM



### LEGEND

PROJECT BOUNDARY	— — — — —
PHASE DELINEATION	=====
STORM DRAIN PIPE	— - - - -
STORM DRAIN PIPE (EXISTING)	— - - - -
SANITARY SEWER PIPE	— — — — —
WATER MAIN	— — — — —
STORM DRAIN MANHOLE	⊙
STORM DRAIN MANHOLE (EXISTING)	⊙
STORM CLEANOUT	○
STORM CLEANOUT (EXISTING)	○
STORM/SANITARY CLEANOUT	●
SANITARY CLEANOUT (EXISTING)	●
SANITARY SEWER MANHOLE	⊙
SANITARY SEWER MANHOLE (EXISTING)	⊙
CURB INLET	▲
CURB INLET (EXISTING)	▲
CATCH BASIN	□
CATCH BASIN (EXISTING)	□
UTILITY POLE (EXISTING)	⊗
STREET LIGHT (EXISTING)	⊙
TRANSFORMER	⊙
STORM DRAIN PIPE	— — — — —
STORM DRAIN PIPE (EXISTING)	- - - - -
NO BUILD COVENANT	=====
RETAINING WALL	▄▄▄▄▄
CURB CUT	—  —
HIGH POINT SPOT ELEVATION	x HP
LOW POINT SPOT ELEVATION	x LP
FINISH FLOOR ELEVATION	FF
PAD ELEVATION	PAD
FINISH GRADE ELEVATION	FG
FINISH SURFACE ELEVATION	FS
FLOW LINE	FL
TOP OF CURB ELEVATION	TC
PERCENT AND DIRECTION OF SURFACE FLOW DRAINAGE	X%
OVERLAND RELEASE PATH	←



### PRELIMINARY REVIEW

Revision	

### Stamp

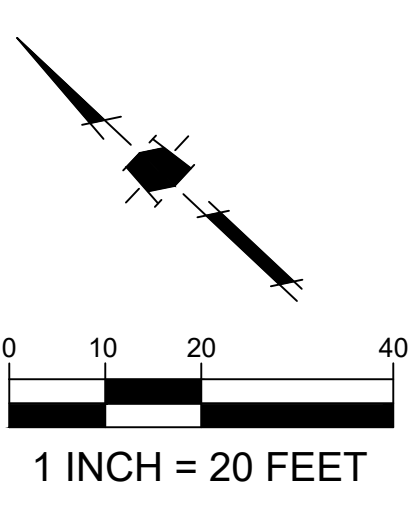


Not for Construction

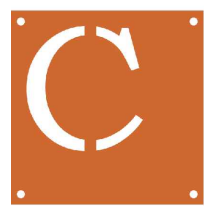
### Sheet Information

Issue Date	12/1/2023
Job Number	6666.01
Drawn	NT
Checked	JC
Approved	MD
Scale	AS SHOWN
Sheet Title	

### GRADING & UTILITY PLAN



### C301



**STUDIO  
current**

URBAN DESIGN • ARCHITECTURE  
96 N. Third Street, Suite 110, San Jose, CA, 95112  
T. 408.816.2000 www.studiocurrent.com

Project:  
**940 WILLOW ST,  
SAN JOSE, CA  
Mixed Use Proposal**  
Consultant



1570 Oakland Road (408) 487-2200  
San Jose, CA 95131 HMHca.com

**PRELIMINARY REVIEW**

Revision


Stamp



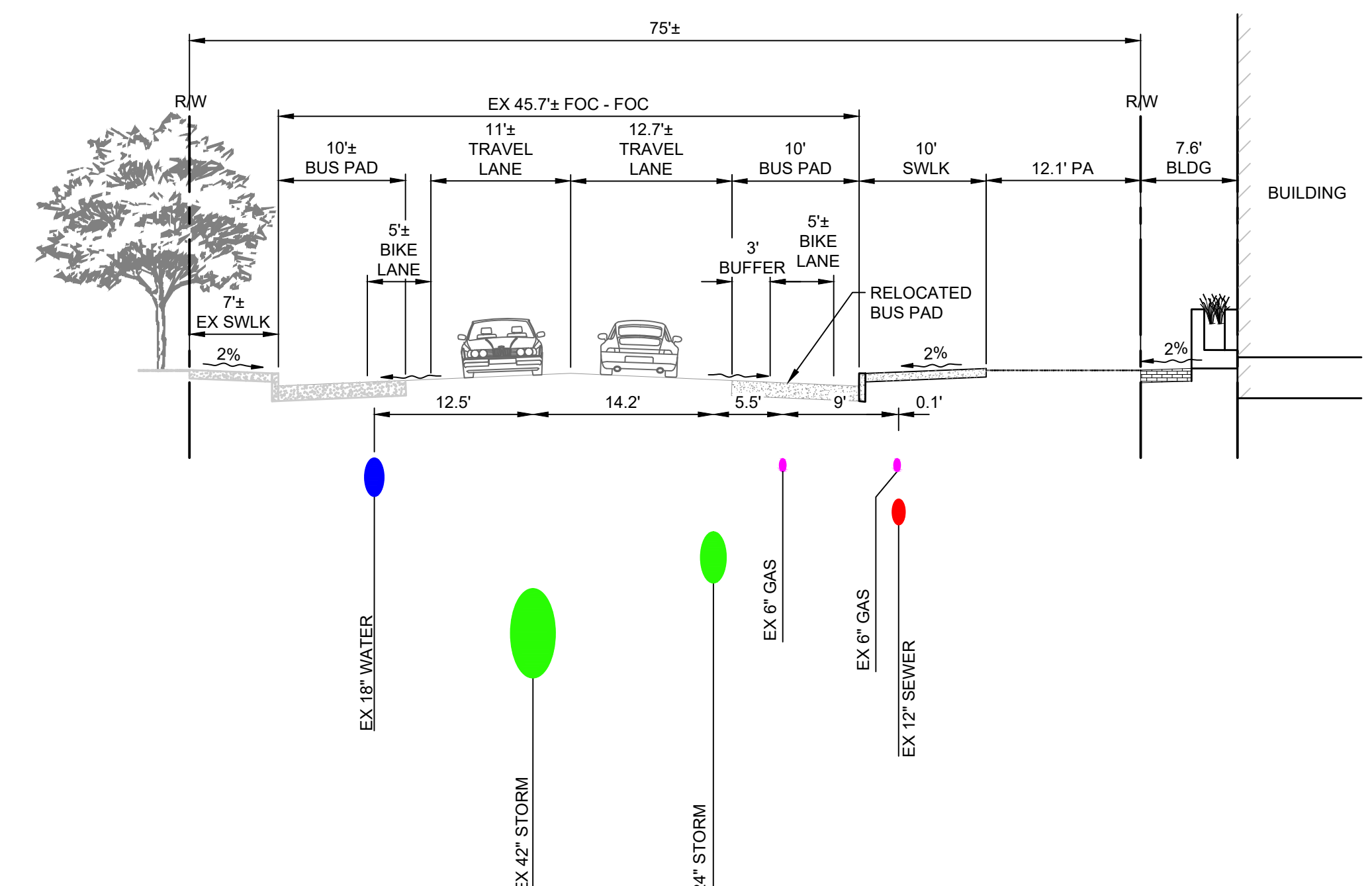
Not for Construction

**Sheet Information**

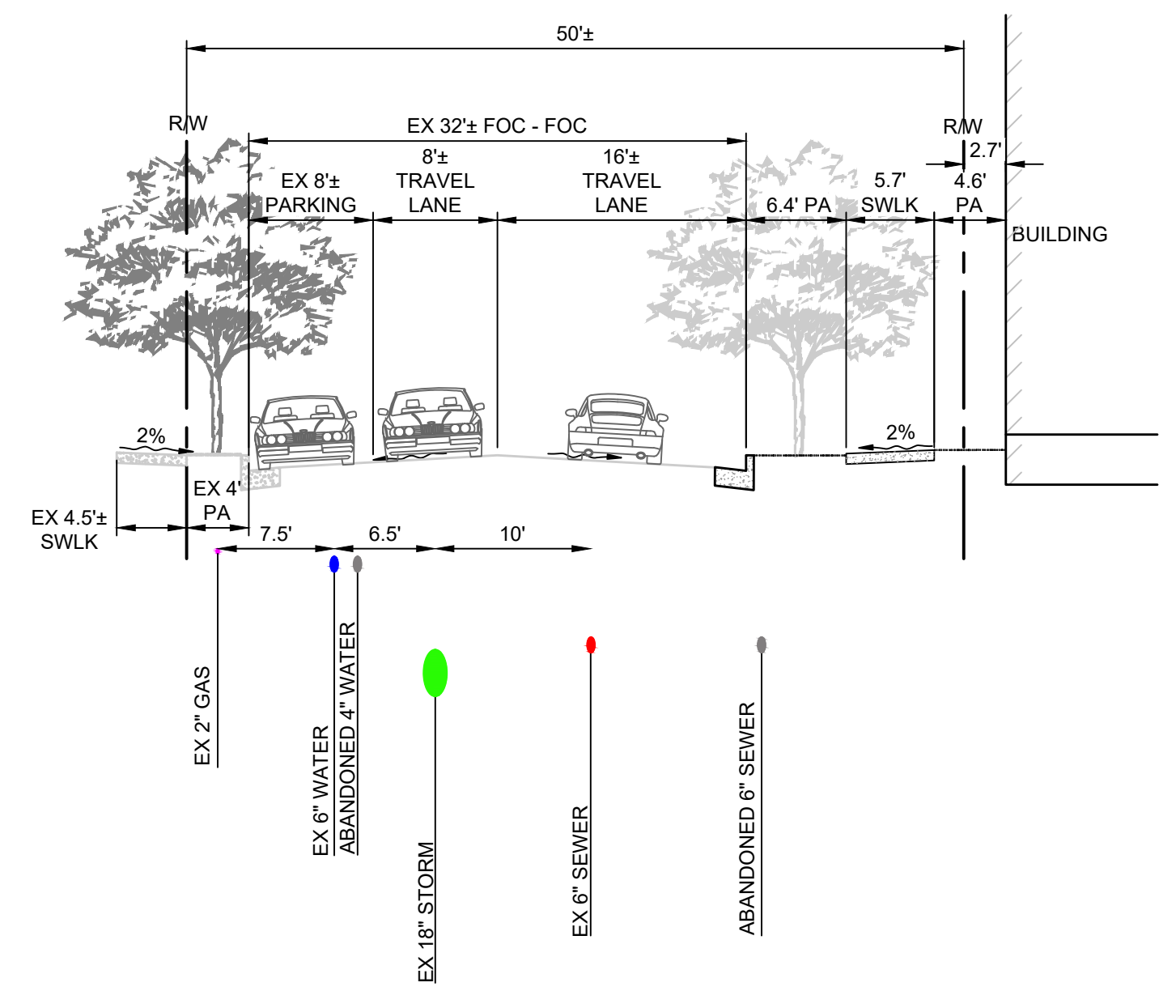
Issue Date	12/1/2023
Job Number	6666.01
Drawn	NT
Checked	JC
Approved	MD
Scale	AS SHOWN
<b>Sheet Title</b>	

**CROSS-SECTIONS**

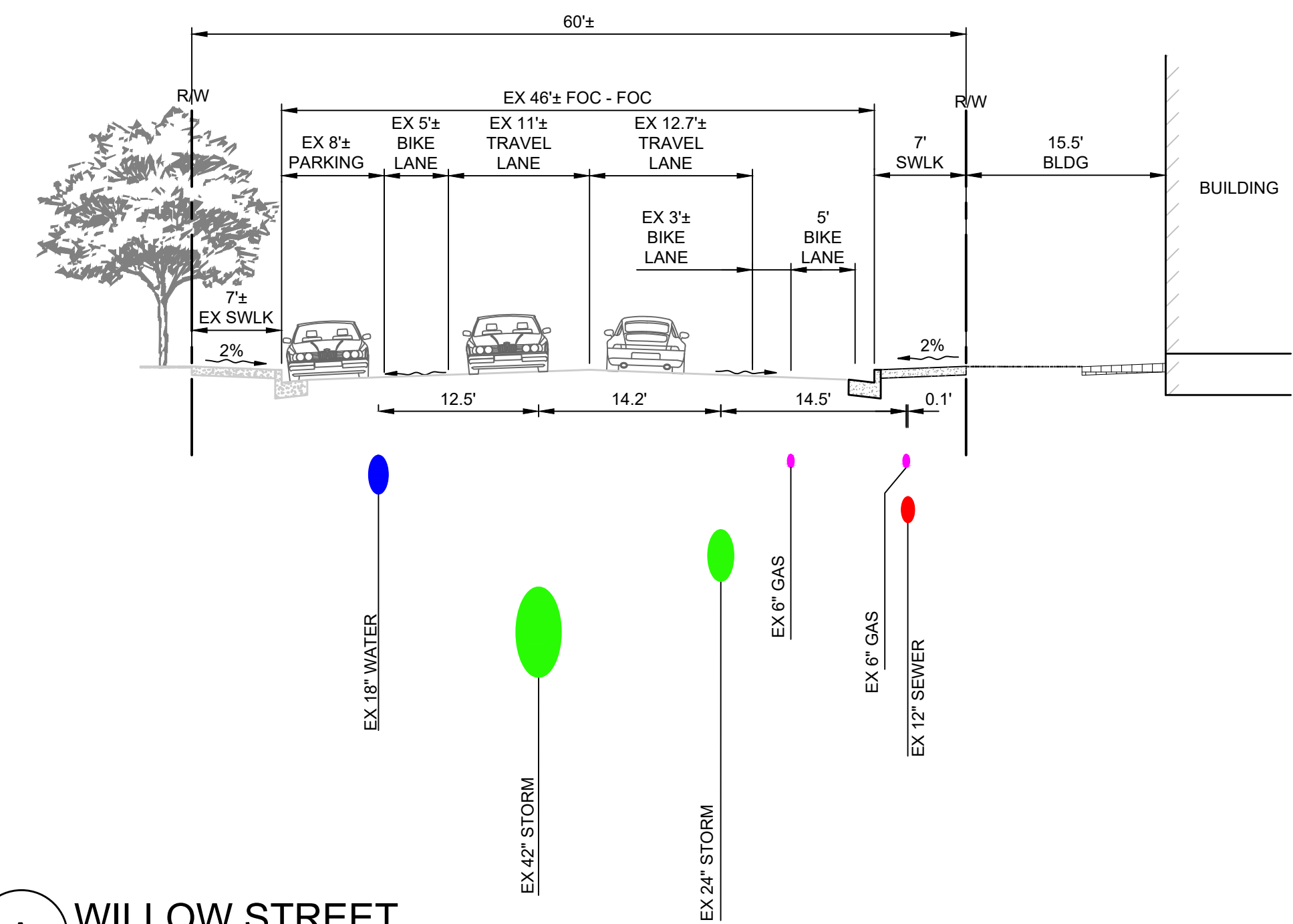
**C801**



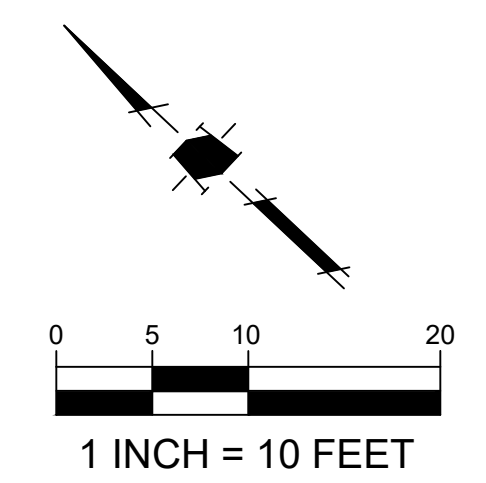
**B WILLOW STREET**  
1" = 10'



**C KOTENBERG AVENUE**  
1" = 10'



**A WILLOW STREET**  
1" = 10'



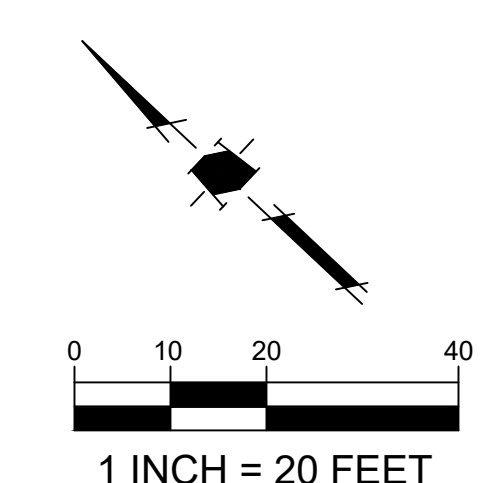
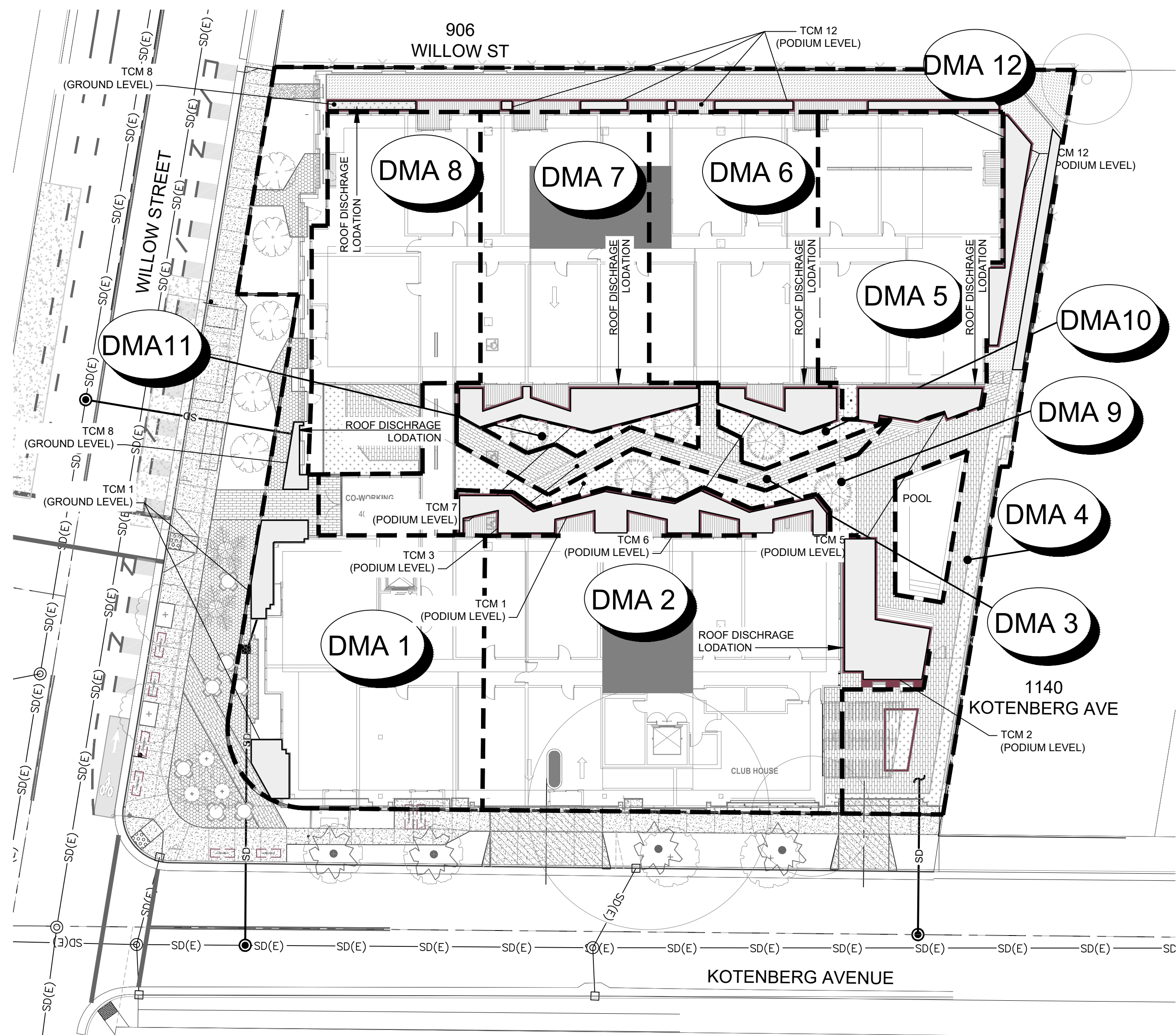
S:\PROJECTS\666601\PLINTITLEMENT PLANS\PLOT DRAWINGS\666601\PCS.DWG, 12/1/2023 3:18 PM

## LEGEND

PROJECT BOUNDARY	---
STORM DRAIN PIPE	---SD---
STORM DRAIN PIPE (EXISTING)	---SD---
PERFORATED UNDERDRAIN PIPE	-.-SD-.-
STORM DRAIN MANHOLE	⊙
STORM DRAIN MANHOLE (EXISTING)	⊙
CURB INLET	▲
CURB INLET (EXISTING)	▲
CATCH BASIN	■
CATCH BASIN (EXISTING)	■
DIRECTION OF SURFACE DRAINAGE	—>—
DRAINAGE MANAGEMENT AREA (SEE SIZING CALCULATIONS, SHEET XX)	DMA#
BIORETENTION AREA	▭
SELF-RETAINING AREA	▭

### NOTES:

- PROJECT WILL NOT LOCATE OVFLOW STRUCTURES DIRECTLY IN LINE WITH OR NEXT TO STORMWATER INLET STRUCTURES INTO FLOW-THROUGH PLANTERS.
- THE FINAL STORMWATER CONTROL PLAN MUST INCLUDE ACCESS AND SAFETY DESIGNS AND FEATURES FOR OPERATIONS, MAINTENANCE, AND CITY INSPECTION WHEN APPROACHING, ENTERING, AND WITHIN THE FLOW-THROUGH PLANTER BOXES.



Project:  
**940 WILLOW ST,  
 SAN JOSE, CA  
 Mixed Use Proposal**  
 Consultant



## PRELIMINARY REVIEW

Revision


Stamp



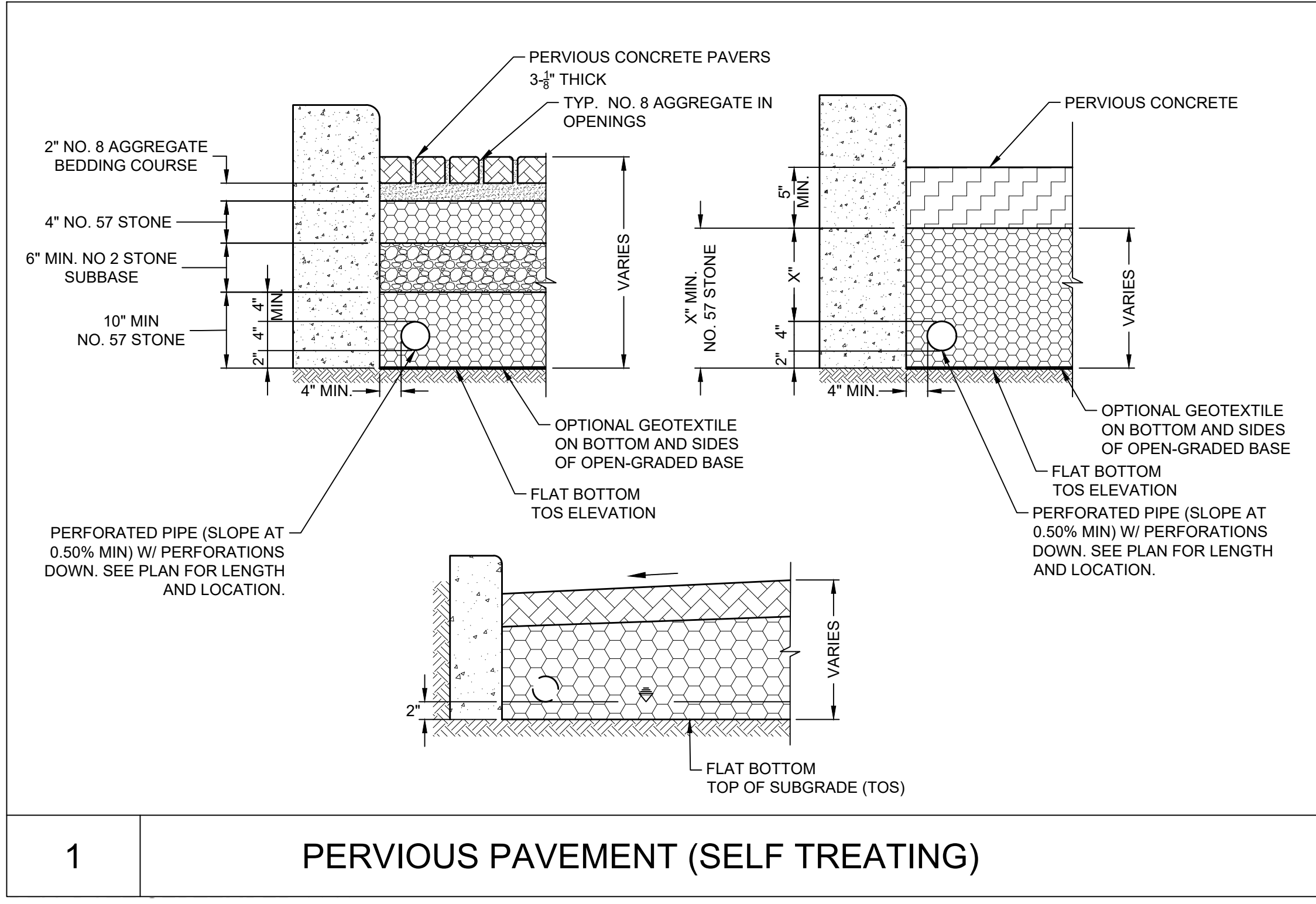
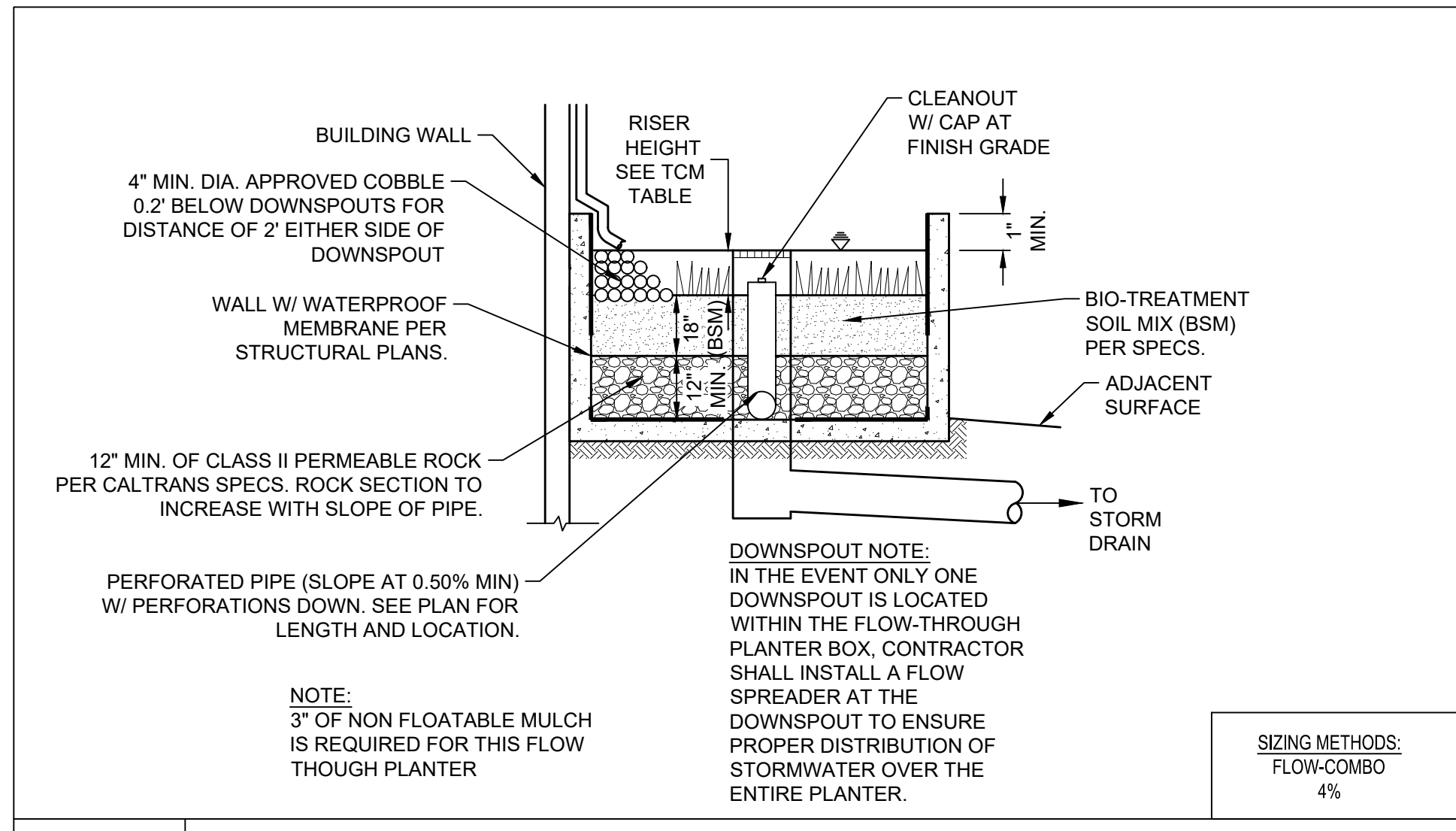
Not for Construction

Sheet Information

Issue Date	12/1/2023
Job Number	6666.01
Drawn	NT
Checked	JC
Approved	MD
Scale	AS SHOWN

## CONCEPTUAL STORMWATER PLAN

**C501**  
 COPYRIGHT ©2024 STUDIO CURRENT



PROJECT SITE INFORMATION:	
1. SOILS TYPE: SILTY CLAY LOAM	_____
2. GROUND WATER DEPTH: 7 FT ±	_____
3. NAME OF RECEIVING BODY: GUADALUPE	_____
4. FLOOD ZONE: ZONE D	_____
5. FLOOD ELEVATION (IF APPLICABLE): N/A	_____

SOURCE CONTROL MEASURES:	
1. CONNECT THE FOLLOWING FEATURES TO SANITARY SEWER:	_____
a. COVERED TRASH/ RECYCLING ENCLOSURES.	_____
b. FOUNTAINS.	_____
2. BENEFICIAL LANDSCAPING.	_____
3. USE OF WATER EFFICIENT IRRIGATION SYSTEMS.	_____
4. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).	_____
5. STORM DRAIN LABELING.	_____

SITE DESIGN MEASURES:	
1. CLUSTER STRUCTURES/PAVEMENT.	_____
2. CREATE NEW PERVIOUS AREAS:	_____
a. LANDSCAPING	_____
b. WALKWAYS AND PATIOS.	_____
c. PARKING STALLS.	_____
3. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.	_____
4. PLANT TREES ADJACENT TO OTHER IMPERVIOUS AREAS.	_____

S:\PROJECTS\666601\PLINTLEMENT PLANS\PLINTLEMENT PLAN\DWG\_12/1/2023 3:19 PM

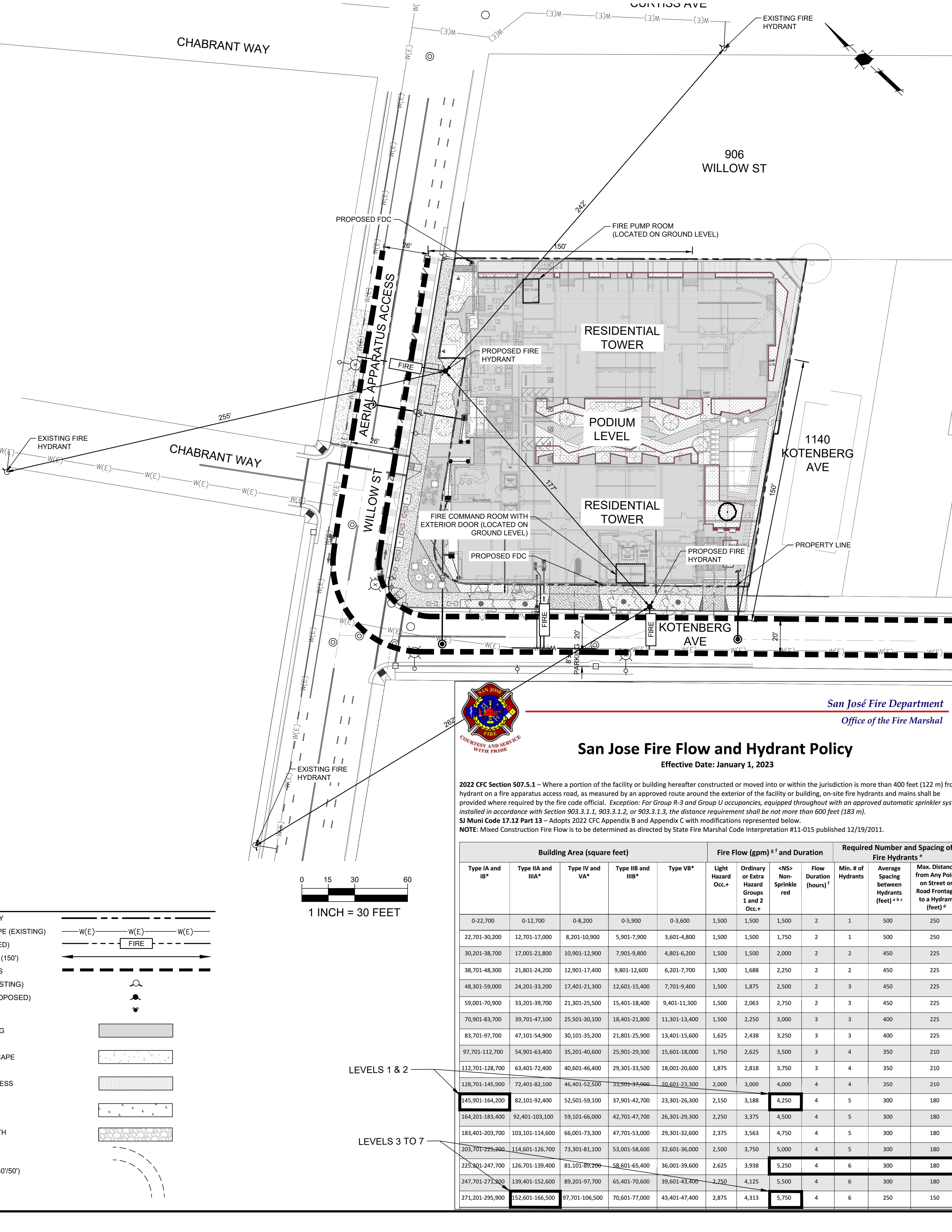


Name of Firm: HMM Engineers (408) 487-2200
Name of Project: 940 WILLOW MIXED USE PROPOSAL
Description: CA GOV DODE 65589.5% (D) "BUILDER'S REMEDY": THIS PROJECT IS LOCATED AT 940 WILLOW STREET AT THE CORNER OF KOTENBERG AVENUE AND WILLOS STREET. IT CONSISTS OF 126 UNITS UTILIZING THE STATE DENSITY BONUS. THE BUILDING IS SEVEN STORIES WITH FIVE LEVELS OF TYPE 3A OVER TWO LEVELS OF TYPE 1A. THERE ARE 135 PARKING SPACES.
Location: 940 WILLOW STREET, SAN JOSE, CA 95125, T THE CORNER OF KOTENBERG AVENUE AND WILLOW STREET
Address: 940 WILLOW STREET, SAN JOSE, CA 95125, APN 429-03-072
Largest Building: 940 WILLOW BLDG - see SF below
Construction Type: Type IA for Levels 1 & 2 and Type IIIA for Levels 3 through 7.
Occupancy Group:
Number of Stories: 7

AREA BREAK UP table with columns: BUILDING TYPE, LEVELS, GARAGE (SF), RETAIL(SF), CIRCULATION (SF), RESIDENTIAL (NET) (SF), AMENITY (SF), TYPE IA, TYPE IIIA, PROJECT TOTAL. Total area is 162,687 SF.

Calculations per SFM interpretation "Fire Flow Requirements with Mixed Construction" 11-015 and SJ Muni Code 17.12.1092: Total building area (from Architectural Plans) 56,597 (Type IA - Levels 1 & 2) + 106,090 square feet (Type IIIA - levels 3 to 7) = 162,687 square feet
Percentage of building IA = 56,597/162,687 x 100 = 34.8; percent IIIA = 106,090/162,687 x 100 = 65.2 percent

Fire flow per construction type is Type IA at 162,687 square feet = 4,250 gpm (25% reduction allowed By SJFD for OH) = 3,187.5 gpm; Type IIIA at 162,687 square feet = 5,750 gpm (50% reduction allowed By SJFD for LH) = 2,875 gpm
Therefore 0.348 (3,187.5 gpm) + 0.652 (2,875 gpm) = 1,109.25 + 1,874.5 = 2,983.75 gpm = Approximately 3,000 gpm (Round up) is the required Fire Flow for this project.
However: The Fire Flow Duration, Hydrant Locations and Distribution are to be based on the full Fire Flow required per CFC Tables IIIB and IIIC.
Therefore 0.348 (4,250 gpm) + 0.652 (5,750 gpm) = 5,228 = Approximately 5,250 gpm (Round up)
Based upon 5,250 gpm Fire Flow, there needs to be a minimum of 6 hydrants with an average spacing of 300 ft (from Appendix C of the Fire Code) for the duration of 4 hours. The frontage distance based on the 5,250 gpm flow requirement is 180 feet. Although only 3,000 gpm is being required, each (any) hydrant shall be capable of delivering at least 1,000 gpm at 20 psi on its own.
See SJFD Fire Flow and Hydrant Chart for reference.

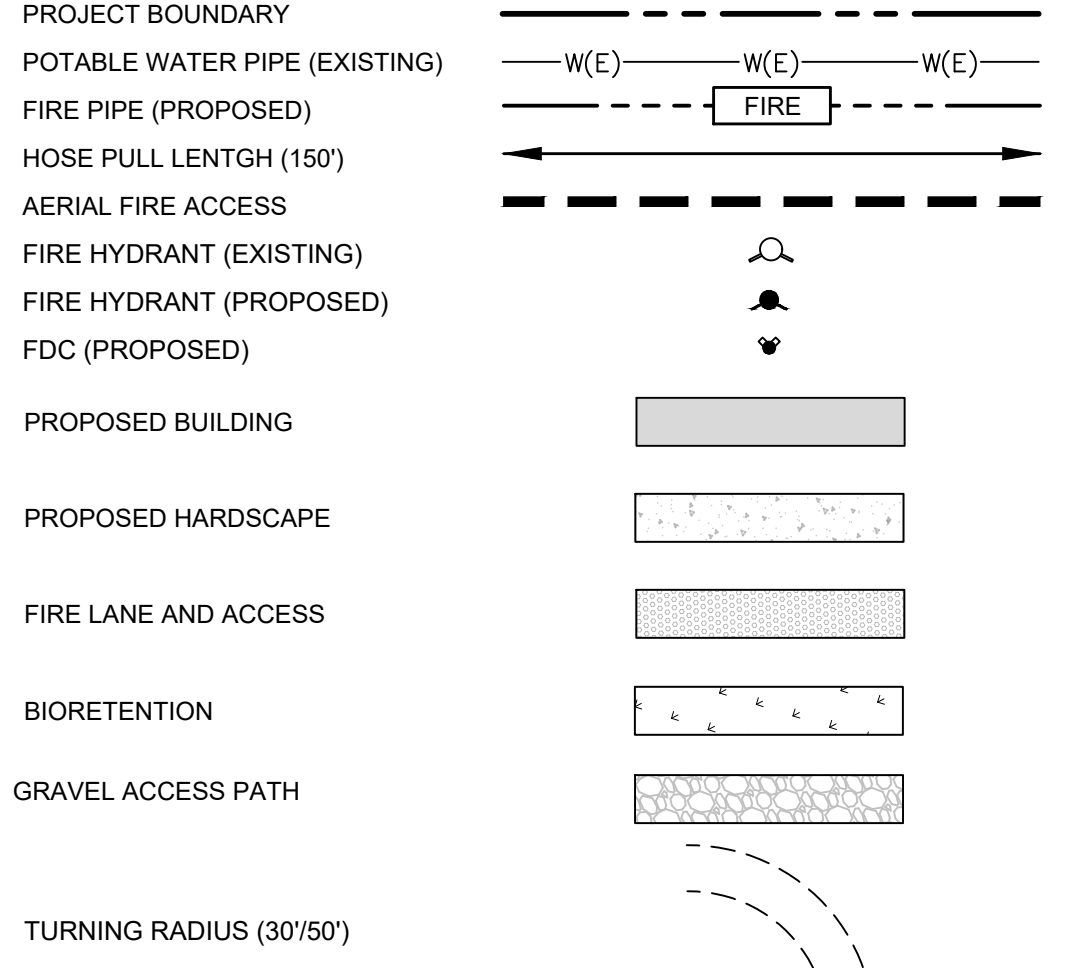


San José Fire Department Office of the Fire Marshal logo and title.
San Jose Fire Flow and Hydrant Policy
Effective Date: January 1, 2023

2022 CFC Section 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exception: For Group R-3 and Group U occupancies, equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2, or 903.3.1.3, the distance requirement shall be not more than 600 feet (183 m).
SJ Muni Code 17.12 Part 13 - Adopts 2022 CFC Appendix B and Appendix C with modifications represented below.
NOTE: Mixed Construction Fire Flow is to be determined as directed by State Fire Marshal Code Interpretation #11-015 published 12/19/2011.

Table with columns: Building Area (square feet), Fire Flow (gpm) and Duration, Required Number and Spacing of Fire Hydrants. It contains multiple rows of data for different building areas and fire flow requirements.

LEGEND



S:\PROJECTS\669600\PLN\TILEMENTS\PLANS\121\2023.3.20 PM

STUDIO current logo and address: 96 N Third Street, Suite 110, San Jose, CA, 95112

Project: 940 WILLOW ST, SAN JOSE, CA Mixed Use Proposal Consultant

HMM logo and address: 1570 Oakland Road, San Jose, CA 95131

PRELIMINARY REVIEW

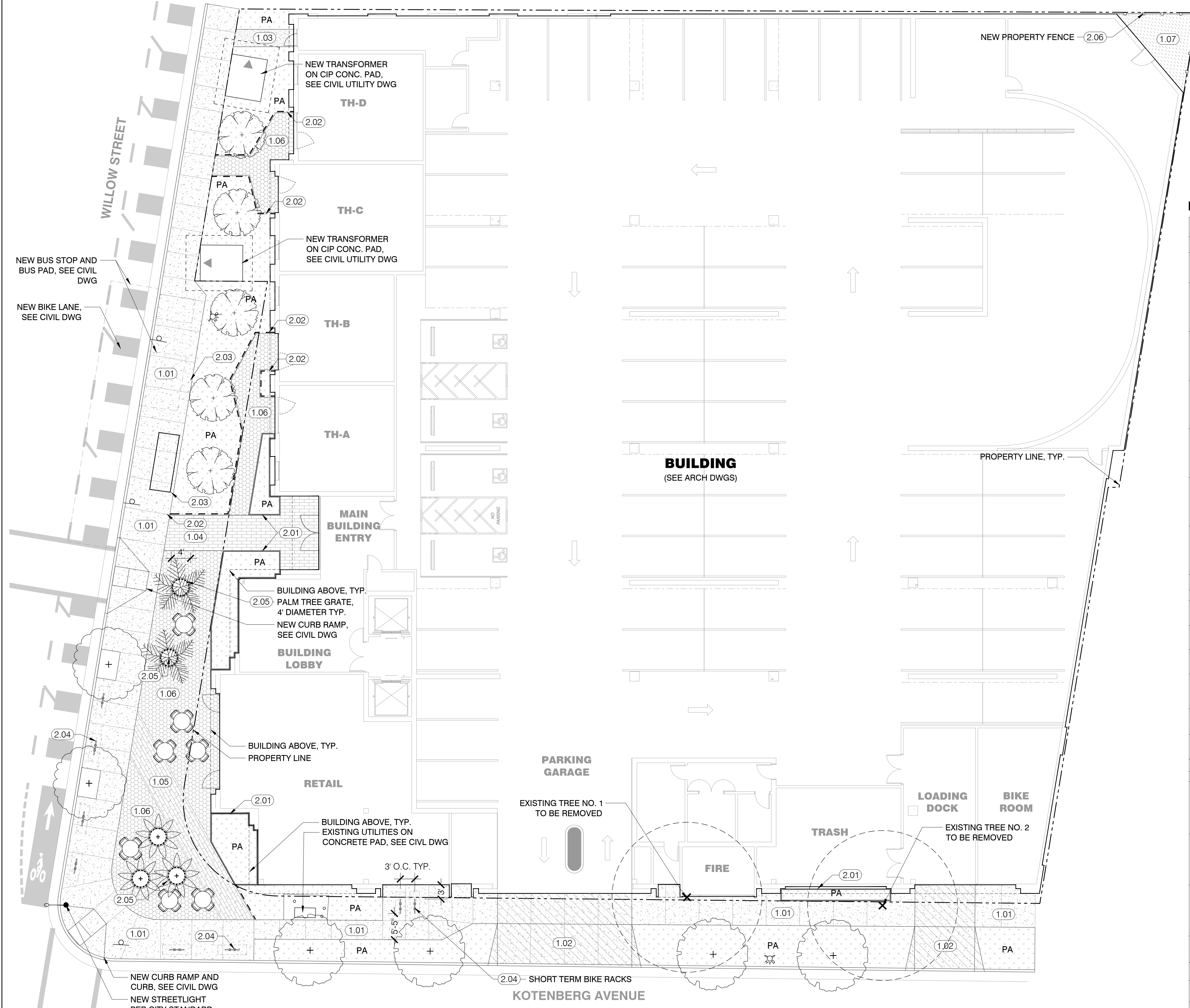
Revision table with 6 empty rows for revision details.

Stamp area with circular seal: REGISTERED PROFESSIONAL ENGINEER, CIVIL, STATE OF CALIFORNIA, No. 68876. Includes text: Not for Construction.

Sheet Information table with fields: Issue Date (12/1/2023), Job Number (6666.01), Drawn (NT), Checked (JC), Approved (MD), Scale (AS SHOWN).

FIRE ACCESS PLAN

C901 logo and copyright notice: COPYRIGHT ©2014 STUDIO CURRENT



**NOTES:**

1. For Building Details, See Arch Dwgs.
2. For Utilities and Street Improvement Details, See Civil Dwgs.
3. For Planting Information, See Landscape Planting Plans
7. "I agree to comply with, or cause anyone who works on the landscape design plan to comply with, the requirements of Chapter 15.11 of Title 15 of the San Jose Municipal Code and to submit a complete landscape design plan that complies with Chapter 15.11 of Title 15 of the San Jose Municipal Code."

LID MEASURE CALCULATION  
(CITYWIDE DESIGN GUIDELINES SECTION 2.3.8 STANDARD 8)

TOTAL AREA: 3778 SF  
(MEASURED FROM BACK OF SIDEWALK TO BUILDING FACE)

TYPE	SQUARE FOOTAGE	PERCENTAGE OF TOTAL AREA
PERMEABLE PAVING	1921 SF	50%
ON GRADE PLANTING TO ALLOW FOR INFILTRATION	1190 SF	31%

**MATERIALS LEGEND - GROUND LEVEL**

NO.	SYMB.	ITEM	DESCRIPTION	DETAIL	
<b>1.00 PAVEMENTS</b>					
1.01	[Symbol]	CITY SIDEWALK	Concrete Sidewalk Per Streetscape Standard Details, See Civil Dwgs.		
1.02	[Symbol]	CONCRETE PAVEMENT - VEHICULAR	See Civil Dwgs.		
1.03	[Symbol]	CONCRETE PAVEMENT - PEDESTRIAN	CIP Reinforced Concrete Per Geotech Recommendation. Integral Color with Sand Float Finish. See Arch Dwgs for Pavement Adjacent to Building.		
1.04	[Symbol]	LINEAR CONCRETE PAVER - ON GRADE	Precast Concrete Paver from Stepstone, Inc., Sand Set over Compacted Aggregate Base Per Geotech Recommendation.		
1.05	[Symbol]	LINEAR PERMEABLE CONCRETE PAVER - ON GRADE	Precast Concrete Paver from Stepstone, Inc., With Permeable Setting Bed and Aggregate Base Per Geotech Recommendation.		
1.06	[Symbol]	PERMEABLE CONCRETE PAVER - ON GRADE	Precast Concrete Paver from Stepstone, Inc., With Permeable Setting Bed and Aggregate Base Per Geotech Recommendation.		
1.07	[Symbol]	GRAVEL PAVEMENT	2' Decorative Gravel over Filter Fabric		
<b>2.00 WALLS, GATES, FENCES, MISC</b>					
2.01	[Symbol]	METAL PLANTER WALL	Custom Aluminum Planter from Planterworx		
2.02	[Symbol]	LANDSCAPE EDGING	3/8" x 4" Duraedge or Similar, Black Powdercoat Finish. Spot Weld at Corners, Typ.		
2.03	[Symbol]	BUS SHELTER	Bus Shelter Per City Standard		
2.04	[Symbol]	BIKE RACK	Short Term Bike Parking, Surface Mounted Bike Rack Per City Specifications. Bicycle Space is 2' x 6' and are set 3' O.C. Where Installed in Sequence		
2.05	[Symbol]	TREE GRATE	4' Dia. Circular Tree Grate by Iron Age. Tree wells To Be At Least Four Feet Larger Than Tree Trunk Diameter At Maturity		
2.06	[Symbol]	SITE FENCE	6' H Perimeter Wood Fence		
<b>3.00 PLANTING</b>					
[Symbol]	[Symbol]	PROPOSED STREET TREE (MEDIUM TREE SIZE)	25' O.C. Spacing Max and 12' Minimum Distance From Building Face. For Layout, See Planting Plan, Species Per Recommendation of City Arborist, 1400 Cubic Feet of Non-compacted Soil to Be Provided in Continuous Planting Trenches.		
[Symbol]	[Symbol]	PROPOSED SITE TREE	20' O.C. Spacing Max and 5' Minimum Distance From Building Face. For Layout, See Planting Plan, Provide Non-compacted Soil to Meet Criteria Outlined in Citywide Design Guidelines Section 2.3.8 S3.		
[Symbol]	[Symbol]	EXISTING SITE TREES	Species And Replacement Strategy To Be Determined Based on Pending Arborist Report		
PA	[Symbol]	PLANTING AREA	See Planting Plan and Planting Details		
<b>EXISTING TREES &amp; MITIGATION</b>					
NO.	SPECIES	NATIVE / NON-NATIVE	SIZE	STATUS	REPLACEMENT
1	Pinus TBD	NON-NATIVE	24" DIA	TO BE REMOVED	TBD
2	Pinus TBD	NON-NATIVE	36" DIA	TO BE REMOVED	TBD

LANDSCAPE MATERIAL PLAN - GROUND LEVEL

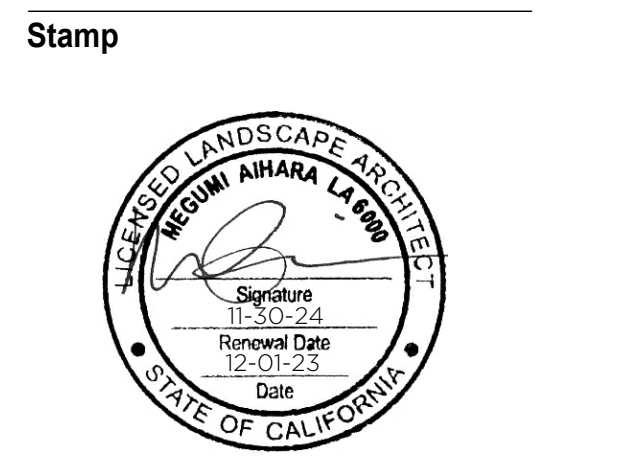
PLAN 3/32" = 1' - 0"

Project:  
**940 Willow Street**  
Mixed Use Proposal  
Consultant:  
**SAW**  
SAW // SPIEGEL AHARA WORKSHOP  
2325 3rd St #216 // San Francisco, CA 94107  
studio-a-works.com // 415.993.4729  
www.s-a-works.com

**H23-030**  
**SITE DEVELOPMENT PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023



**Sheet Information**

Issue Date: 12/01/23  
Job Number: 230801  
Drawn: AS  
Checked: MA  
Approved: MA  
Scale: 3/32" = 1'-0"  
**Sheet Title**

**LANDSCAPE MATERIAL PLAN - GROUND LEVEL**

**024-L**



**STUDIO**  
**current**  
URBAN DESIGN + ARCHITECTURE  
96 N. Third Street, Suite 110, San Jose, CA, 95112  
T. 408.816.2000 www.studiocurrent.com

**NOTES:**

1. For Building Details, See Arch Dwgs.
2. For Building Drainage, See Civil Dwgs
3. For Planting Information, See Landscape Planting Plans
7. "I agree to comply with, or cause anyone who works on the landscape design plan to comply with, the requirements of Chapter 15.11 of Title 15 of the San Jose Municipal Code and to submit a complete landscape design plan that complies with Chapter 15.11 of Title 15 of the San Jose Municipal Code."

Project:

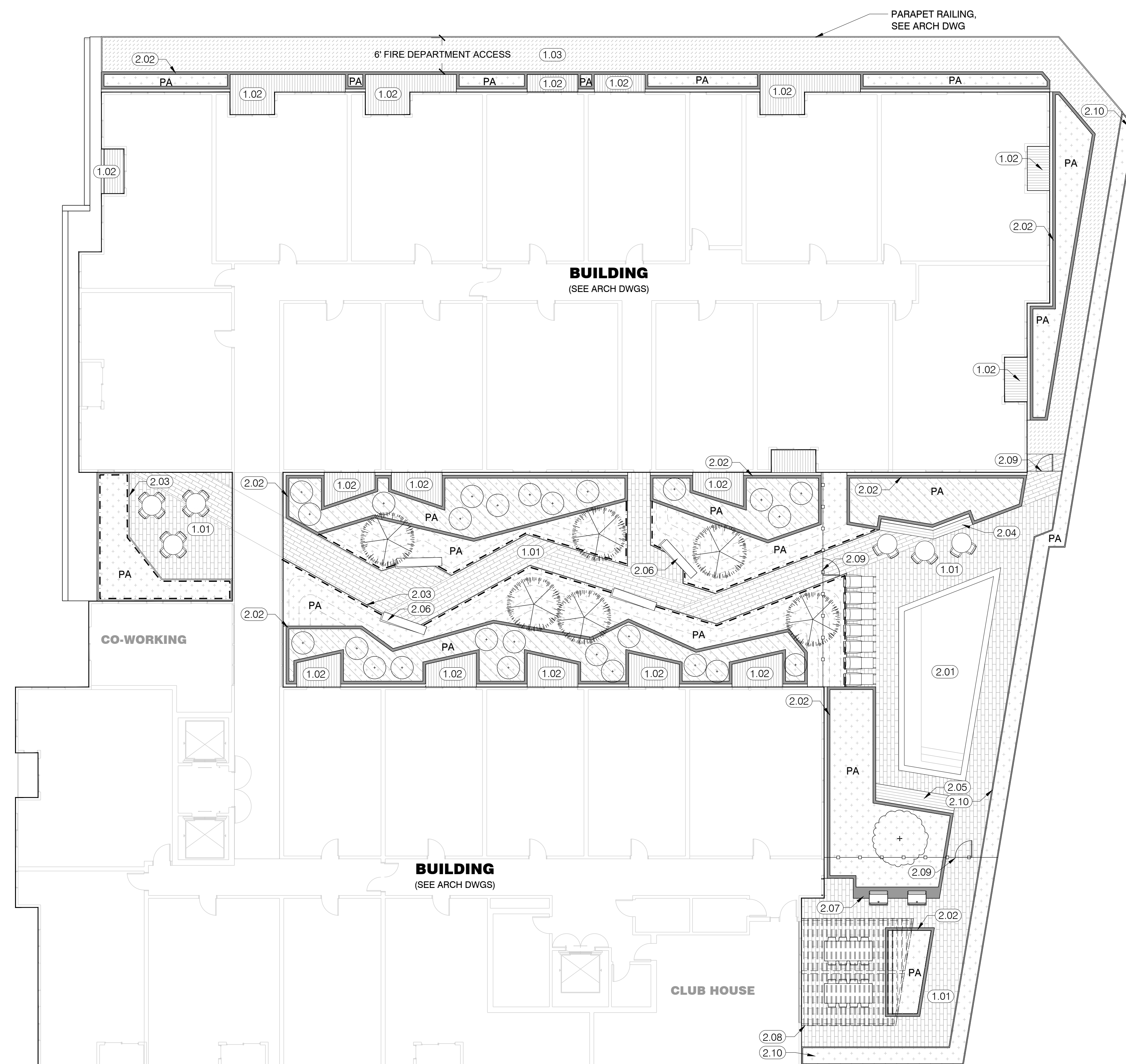
**940 Willow Street**

Mixed Use Proposal

Consultant

**SAW**

SAW // SPIEGEL AHARA WORKSHOP  
2325 3rd St #216 // San Francisco, CA 94107  
studio@sa-works.com // 415.993.4729  
www.sa-works.com



**MATERIALS LEGEND - LEVEL 3**

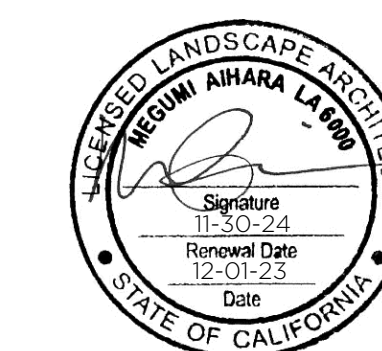
1.00 PAVMENTS				
NO.	SYMB.	ITEM	DESCRIPTION	DETAIL
1.01		LINEAR CONCRETE PAVER- ON STRUCTURE	Precast Concrete Paver from Stepstone, Inc. over Clean Washed Drain Rock, Filter Fabric, and Drainage Board on Waterproofed Roof Deck.	
1.02		WOOD DECK - ON STRUCTURE	1x6 Ipe Wood Decking	
1.03		GRAVEL PAVING - ON STRUCTURE	2" Decorative Gravel over Filter Fabric, Clean Washed Drain Rock, and Drainage board.	
2.00 WALLS, GATES, FENCES, MISC				
NO.	SYMB.	ITEM	DESCRIPTION	DETAIL
2.01		SWIMMING POOL	Swimming Pool with 'Cabo' Shelf and Precast Concrete Coping. 42" Water Depth	
2.02		CIP PLANTER WALL	CIP Boardform Concrete Wall, 36" Internal Depth, 30" H Above Finished Grade of Paving, Integral Color.	
2.03		DUNE EDGING	1/2" Steel Plate with Clear Sealant, Spot Weld at Corners, Attach to L-Angle Supports on Podium, 24" O.C.	
2.04		PLANTER BENCH	Ipe Wood Bench & Back Rest Mounted to CIP Wall	
2.05		PLANTER LOUNGE	Ipe Wood Seat & Lounge, Mounted to CIP Wall	
2.06		STONE SLAB BENCH	18" Tall Bench Composed of 3 Stacked Stone Slabs over CIP Concrete Base	
2.07		BBQ COUNTER	36" Tall CIP Concrete Counter with Built-in Gas Grill and Custom Cabinets with Powdercoated Aluminum Doors. Smooth MDF Form Finish, Integral Color, See Details.	
2.08		SHADE STRUCTURE	Steel Shade Structure, Hot Dipped Galvanized and Painted Black, with Ipe Louvers.	
2.09		POOL FENCE	5' High Fence and Gate with Self Closing Hinges and Keyed Entry	
2.10		PARAPET TROUGH PLANTER	Custom 42" H Aluminum Planter from Planterworx	
3.00 PLANTING				
SYMBOL	ITEM	DESCRIPTION	DETAIL	
	PROPOSED TREE	See Planting Plan and Planting Details		
	PLANTING AREA	See Planting Plan and Planting Details		
	C.3 FLOW-THROUGH PLANTER	See Planting Plan and Planting Details		

**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



**Sheet Information**

Issue Date	12/01/23
Job Number	230801
Drawn	AS
Checked	MA
Approved	MA
Scale	3/32" = 1'-0"

**Sheet Title**  
**LANDSCAPE MATERIALS**  
**PLAN - LEVEL 3**

LANDSCAPE MATERIALS PLAN - LEVEL 3

PLAN

1  
3/32" = 1' - 0"

025-L





STUDIO  
current

URBAN DESIGN + ARCHITECTURE  
96 N. Third Street, Suite 110, San Jose, CA, 95112  
T. 408.816.2000 www.studiocurrent.com

**NOTES:**

1. For Building Details, See Arch Dwgs.
2. For Building Drainage, See Civil Dwgs.
3. For Planting Information, See Landscape Planting Plans.
7. "I agree to comply with, or cause anyone who works on the landscape design plan to comply with, the requirements of Chapter 15.11 of Title 15 of the San Jose Municipal Code and to submit a complete landscape design plan that complies with Chapter 15.11 of Title 15 of the San Jose Municipal Code."

Project:

**940 Willow Street**

Mixed Use Proposal

Consultant

**SAW**

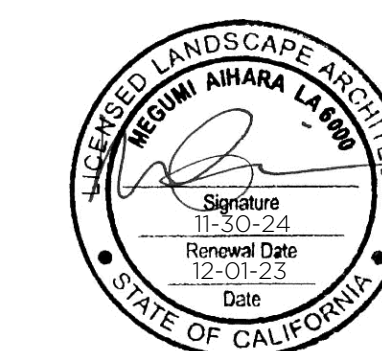
SAW // SPIEGEL AHARA WORKSHOP  
2325 3rd St. #216 // San Francisco, CA 94107  
studio@sa-works.com // 415.993.4729  
www.sa-works.com

**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

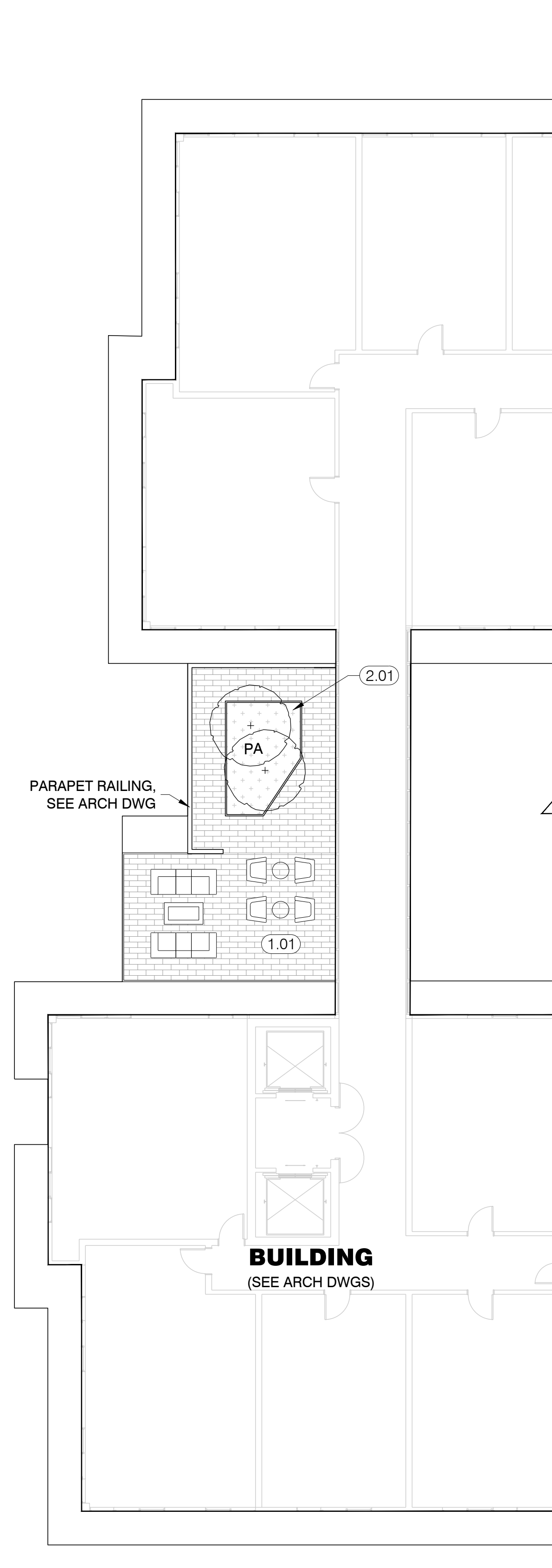
Issue Date	12/01/23
Job Number	230801
Drawn	AS
Checked	MA
Approved	MA
Scale	3/32" = 1'-0"

Sheet Title

LANDSCAPE MATERIALS  
PLAN - LEVELS 6 & 7

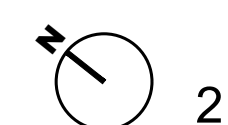
**026-L**

COPYRIGHT © 2023 SPIEGEL AHARA WORKSHOP

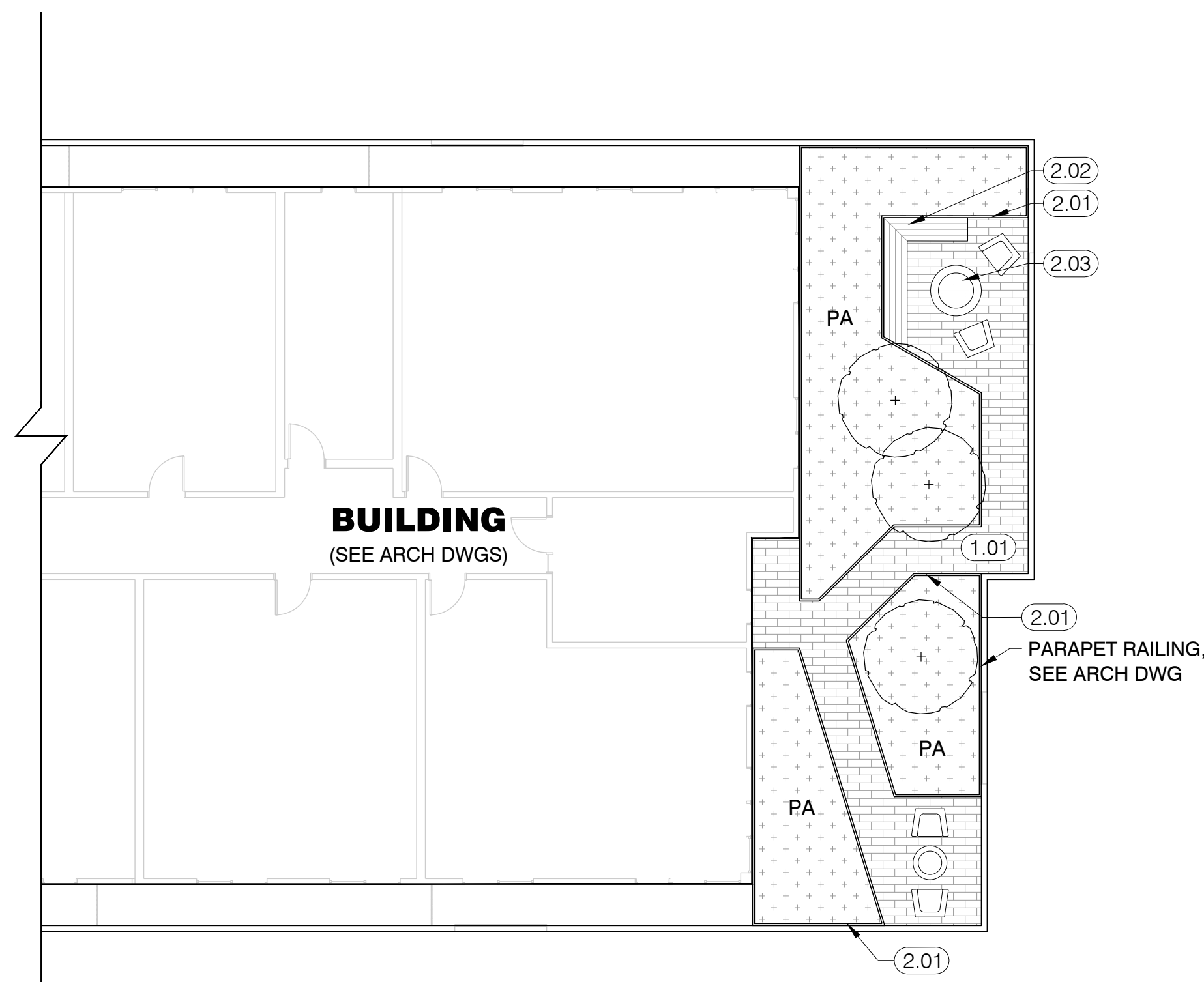


LANDSCAPE MATERIALS PLAN - LEVEL 7

PLAN

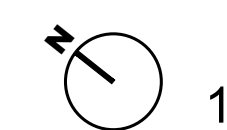


3/32" = 1' - 0"



LANDSCAPE MATERIALS PLAN - LEVEL 6

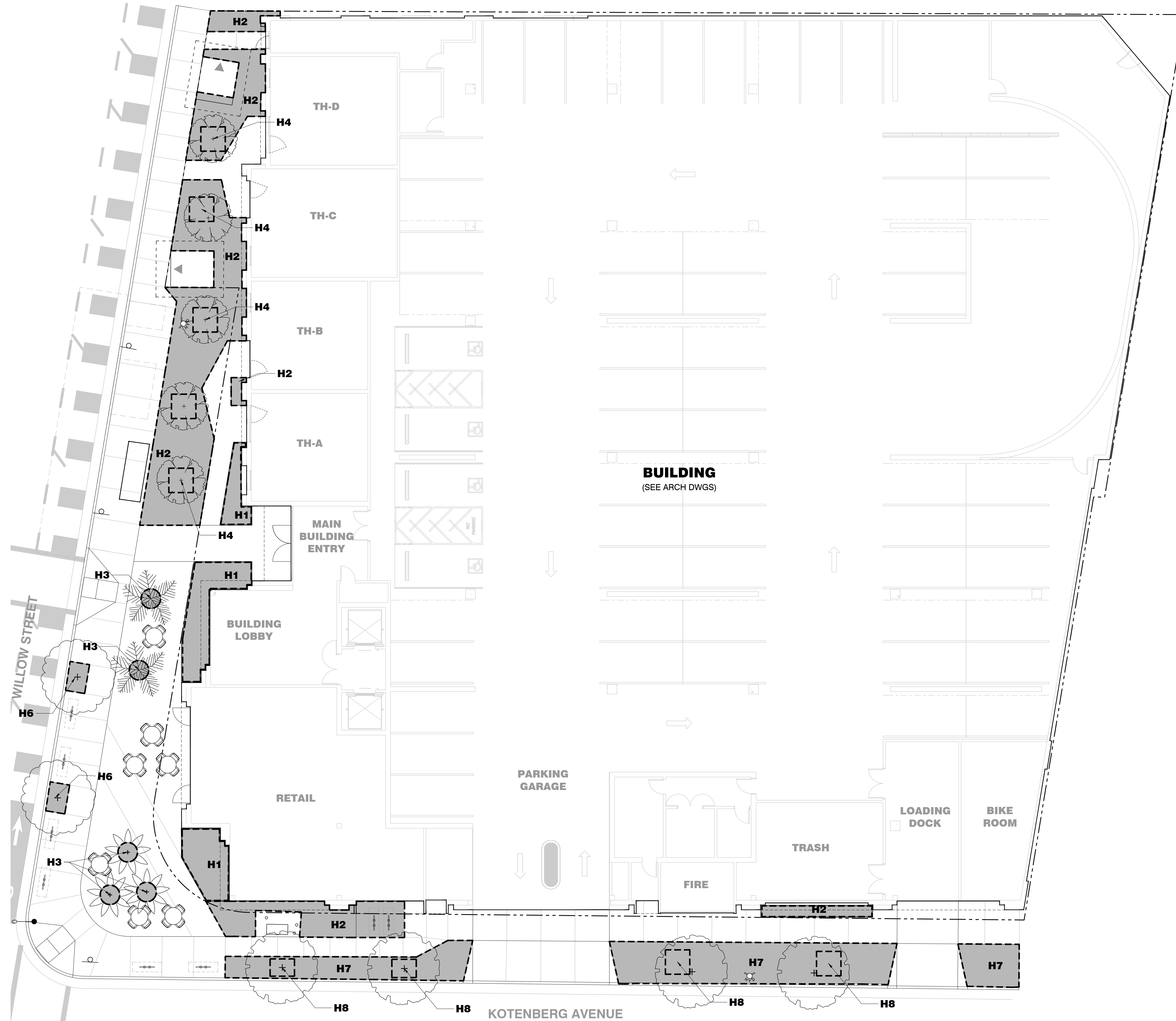
PLAN



3/32" = 1' - 0"

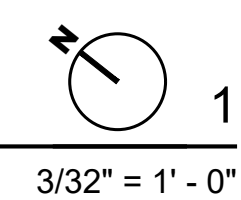
**MATERIALS LEGEND - LEVELS 6 & 7**

1.00 PAVMENTS				
NO.	SYMB.	ITEM	DESCRIPTION	DETAIL
1.01		LINEAR CONCRETE PAVER- ON STRUCTURE	Precast Concrete Paver from Stepstone, Inc. over Clean Washed Drain Rock, Filter Fabric, and Drainage Board on Roof Deck.	
2.00 WALLS, GATES, FENCES, MISC				
NO.	SYMB.	ITEM	DESCRIPTION	DETAIL
2.01		METAL PLANT BOX	Custom Aluminum Planter from Planterworx	
2.02		WOOD BENCH	IPE Wood Seat Surface Mounted to Metal Planter	
2.03		FIREPIT	Concreteworks Hemi 60 Firepit, Electronic Ignition, Color: Fog	
3.00 PLANTING				
SYMBOL	ITEM	DESCRIPTION	DETAIL	
	PROPOSED TREE	See Planting Plan and Planting Details		
PA	PLANTING AREA	See Planting Plan and Planting Details		



HYDROZONE PLAN - GROUND LEVEL

PLAN



**NOTES:**

1. For Building Details, See Arch Dwgs.
2. For Utilities and Street Improvement Details, See Civil Dwgs.
3. For Landscape Materials, See Landscape Material Plans.
4. For Planting Information, See Landscape Planting Plans.
6. "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan".
7. "I agree to comply with, or cause anyone who works on the landscape design plan to comply with, the requirements of Chapter 15.11 of Title 15 of the San Jose Municipal Code and to submit a complete landscape design plan that complies with Chapter 15.11 of Title 15 of the San Jose Municipal Code."



**STUDIO current**  
 URBAN DESIGN + ARCHITECTURE  
 96 N Third Street, Suite 110, San Jose, CA, 95112  
 T. 408.816.2000 www.studiocurrent.com

Project:  
**940 Willow Street**  
 Mixed Use Proposal

Consultant  
**SAW**  
 SAW // SPIEGEL AHARA WORKSHOP  
 2325 3rd St. #216 // San Francisco, CA 94107  
 info@s-a-works.com // 415.993.4729  
 www.s-a-works.com

**H23-030**  
**SITE DEVELOPMENT PERMIT**

Revision

No.	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp

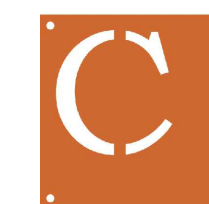


Sheet Information

Issue Date	12/01/23
Job Number	230801
Drawn	AS
Checked	MA
Approved	MA
Scale	3/32" = 1'-0"

Sheet Title  
**HYDROZONE PLAN - GROUND LEVEL**

**027-L**



**STUDIO**  
**current**  
URBAN DESIGN + ARCHITECTURE  
96 N. Third Street, Suite 110, San Jose, CA, 95112  
T. 408.816.2000 www.studiocurrent.com

**NOTES:**

1. For Building Details, See Arch Dwgs.
2. For Utilities and Street Improvement Details, See Civil Dwgs.
3. For Landscape Materials, See Landscape Material Plans.
4. For Planting Information, See Landscape Planting Plans.
6. "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan".
7. "I agree to comply with, or cause anyone who works on the landscape design plan to comply with, the requirements of Chapter 15.11 of Title 15 of the San Jose Municipal Code and to submit a complete landscape design plan that complies with Chapter 15.11 of Title 15 of the San Jose Municipal Code."

Project:  
**940 Willow Street**  
**Mixed Use Proposal**

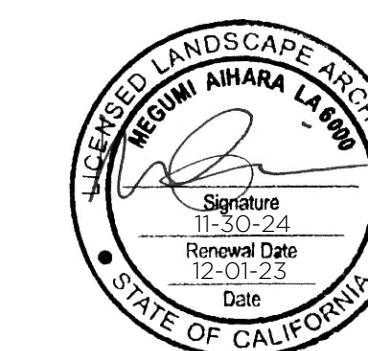
Consultant  
**SAW**  
SAW // SPIEGEL AHARA WORKSHOP  
2325 3rd St #216 // San Francisco, CA 94107  
studio@sa-works.com // 415.993.4729  
www.s-a-works.com

**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

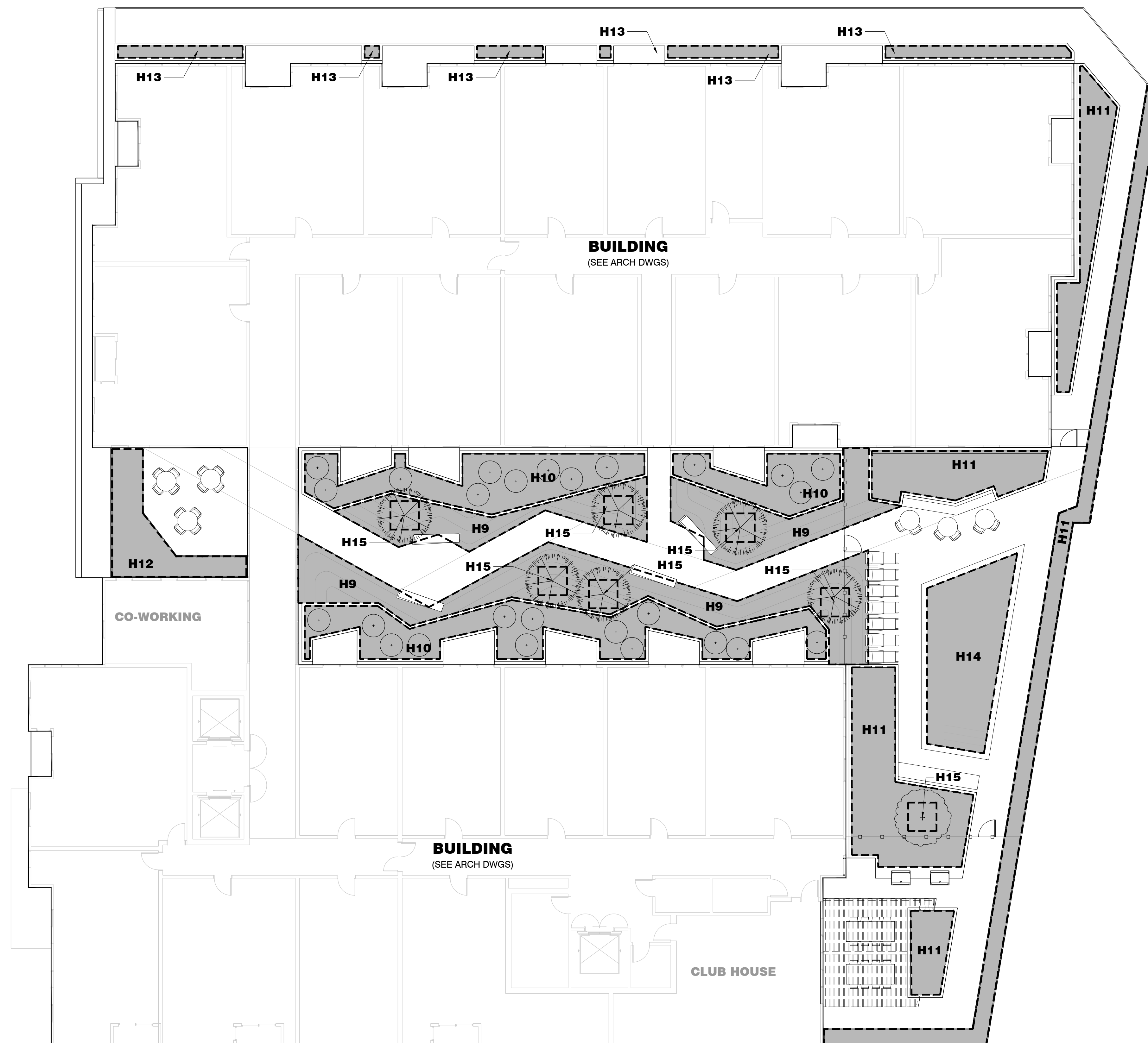
Issue Date	12/01/23
Job Number	230801
Drawn	AS
Checked	MA
Approved	MA
Scale	3/32" = 1'-0"

Sheet Title

HYDROZONE PLAN -  
LEVEL 3

**028-L**

COPYRIGHT ©2023 SPIEGEL AHARA WORKSHOP



HYDROZONE PLAN - LEVEL 3

PLAN

1  
3/32" = 1' - 0"



Project:  
**940 Willow Street**  
**Mixed Use Proposal**

Consultant  
**SAW**  
SAW // SPIEGEL AHARA WORKSHOP  
2325 3rd St #216 // San Francisco, CA 94107  
studio@sa-works.com // 415.993.4729  
www.sa-works.com

**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

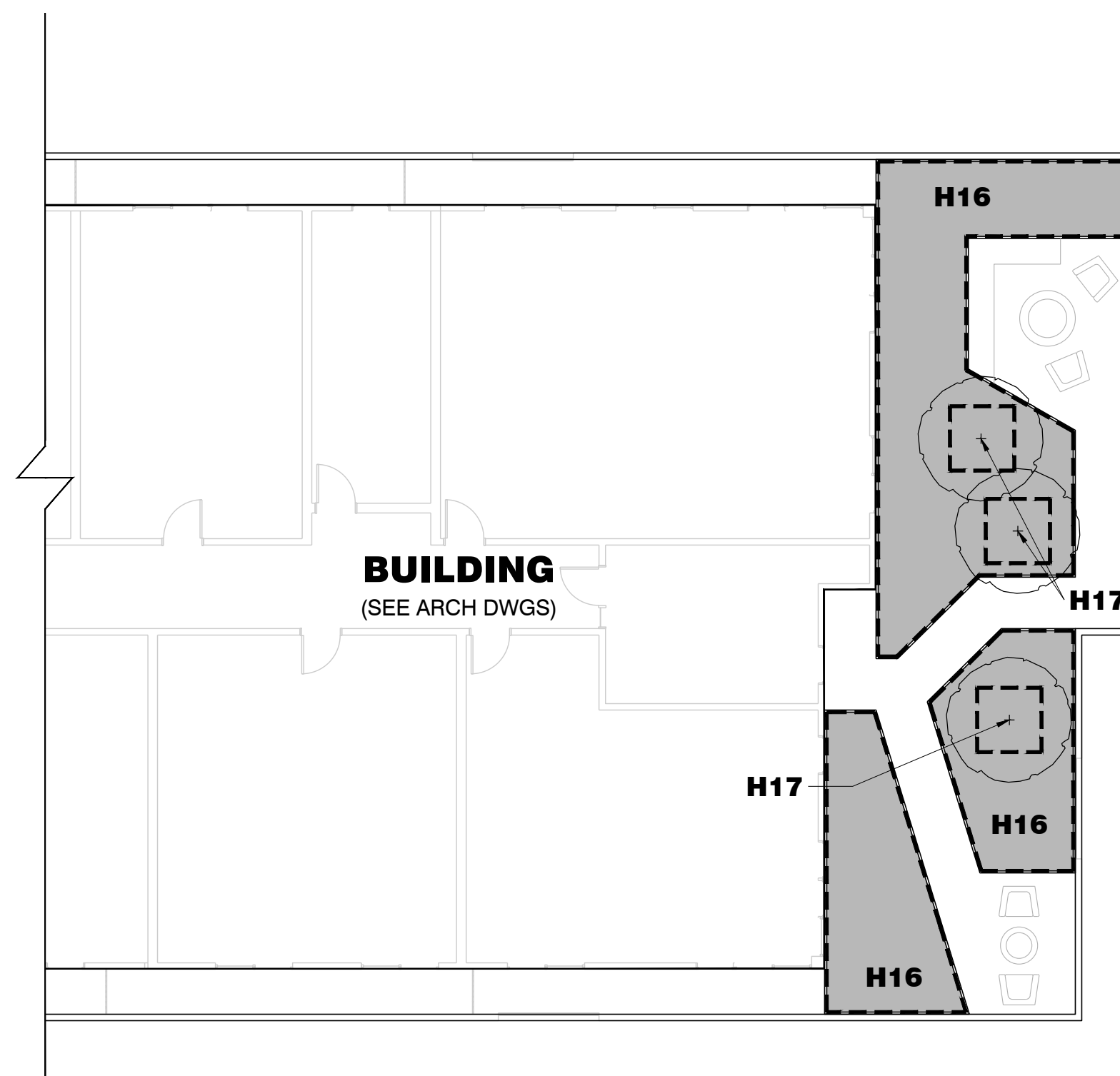
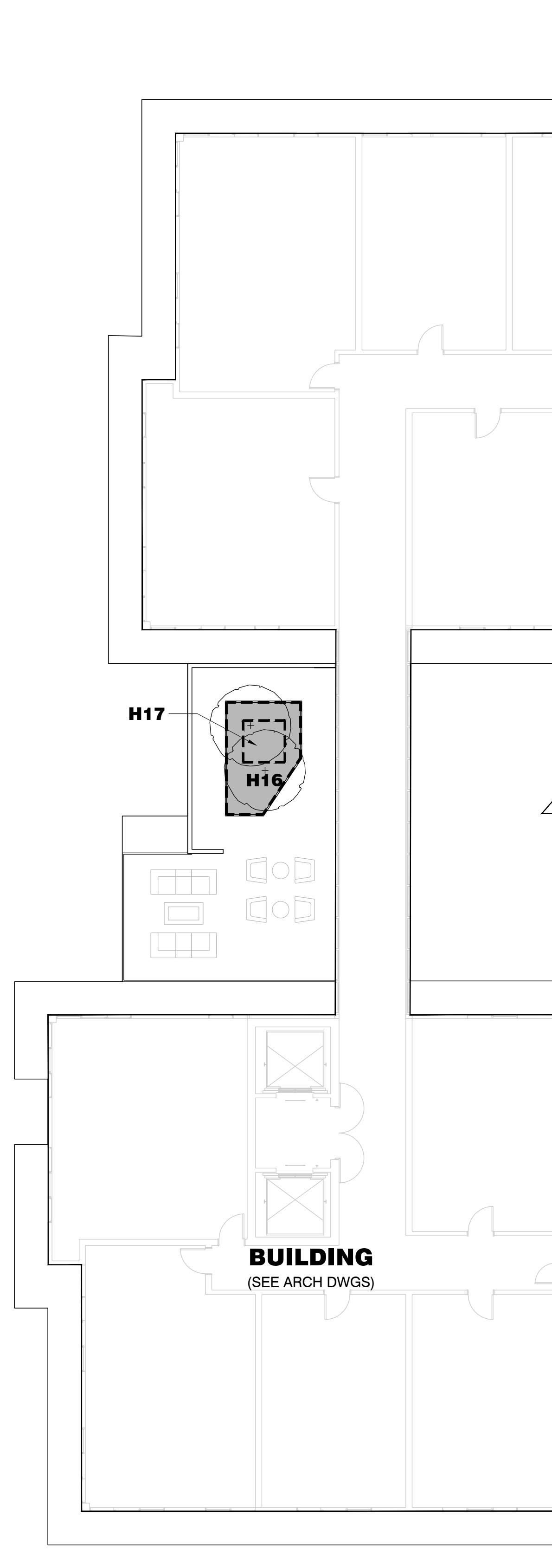
Issue Date	12/01/23
Job Number	230801
Drawn	AS
Checked	MA
Approved	MA
Scale	3/32" = 1'-0"

Sheet Title  
**HYDROZONE PLAN -**  
**LEVEL 6 & 7**

**029-L**

**NOTES:**

1. For Building Details, See Arch Dwg.
2. For Utilities and Street Improvement Details, See Civil Dwg.
3. For Landscape Materials, See Landscape Material Plans.
4. For Planting Information, See Landscape Planting Plans.
7. "I agree to comply with, or cause anyone who works on the landscape design plan to comply with, the requirements of Chapter 15.11 of Title 15 of the San Jose Municipal Code and to submit a complete landscape design plan that complies with Chapter 15.11 of Title 15 of the San Jose Municipal Code."



**SECTION A: HYDROZONE INFORMATION TABLE**

Reference Evapotranspiration (ET <sub>o</sub> ) = 45.30 San Jose		Water Saving Plant List					
ETWU Calculations							
Please complete the table below for each hydrozone or valve of the irrigation system.							
Regular Landscape Area							
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method (B)	Irrigation Efficiency (IE) (C)	ETAF	Landscape Area (LA) sq. ft.	ETAF * LA	Estimated Total Water Use (ETWU) gallons per year
1. Building Entry Planting	0.4	drip			337		
2. Townhome Gardens	0.4	drip			934		
3. Palm Trees	0.5	drip			62		
4. Townhome Trees	0.5	drip			1210		
5. NOT USED	0.1	drip			0		
6. Willow St Sidewalk Trees	0.5	drip			20		
7. Kottenberg Ave Sidewalk Planting	0.3	drip			659		
8. Kottenberg Sidewalk Trees	0.5	drip			86		
9. Dune Planters	0.4	drip			1177		
10. C.3. Flow Through Planters	0.4	drip			1104		
11. Pool Plantings	0.4	drip			1476		
12. Coworking Shade Garden	0.4	drip			206		
13. Northeast Terraces	0.4	drip			187		
14. Pool	0.9	pool			396		
15. Podium Trees	0.5	drip			571		
16. Roof Top Planters	0.4	drip			773		
17. Roof Top Trees	0.5	drip			100		
			9.03	Totals	9,298.00	4,905.67	137,780.66

**SECTION B: WATER BUDGET CALCULATIONS**

Average ETAF Calculations		
Average ETAF for Regular Landscape Areas	Average ETAF for All Landscape Areas	Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas
0.53	0.53	
MAWA Calculations		
Maximum Applied Water Allowance (MAWA) = (ET <sub>o</sub> * 0.62) * ((ETAF * LA) + ((1-ETAF) * SLA))		MAWA gallons per year
		143,629.00
Where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year; LA is the total landscape area in sq. ft.; SLA is the total special landscape area in sq. ft.; and ETAF is 0.55 for residential areas and 0.45 for non-residential areas.		
The ET <sub>o</sub> values for Santa Clara County are based on data compiled by the California Department of Water Resources, through the California Irrigation Management Information Systems (CIMIS) program.		
Comparison of ETWU and MAWA		
Estimated Total Water Use (ETWU) gallons per year	Maximum Applied Water Allowance (MAWA) gallons per year	
137,780.66	143,629.00	
In order to be in compliance with the Sustainable Landscape Ordinance, the project's ETWU gallons per year above must be less than or equal to the project's MAWA gallons per year. If this is not the case, please adjust the plants you are using for your landscaping project.		

**PROJECT MEETS WATER EFFICIENCY REQUIREMENTS:**  
**ETWU IS LESS THAN MAWA**



Project:  
**940 Willow Street**  
Mixed Use Proposal

Consultant  
**SAW**  
SAW // SPIEGEL AHARA WORKSHOP  
2325 3rd St #216 // San Francisco, CA 94107  
studio@sa-works.com // 415.993.4729

**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

Revision

No.	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

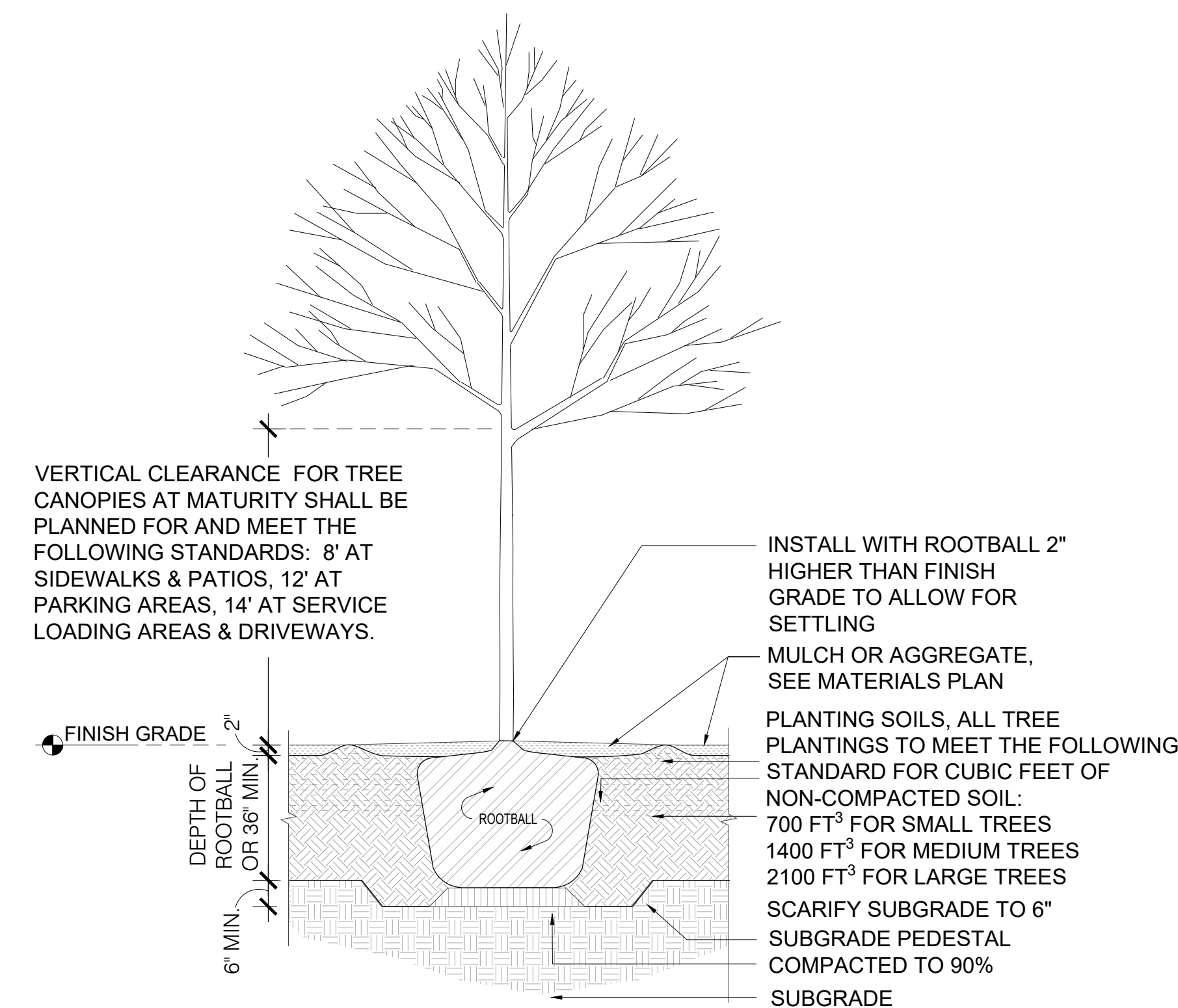
Issue Date	12/01/23
Job Number	230801
Drawn	AS
Checked	MA
Approved	MA
Scale	3/32" = 1'-0"

Sheet Title  
**PLANTING PLAN -  
GROUND LEVEL**

**030-L**

**NOTES:**

1. For Building Details, See Arch Dwgs.
2. For Utilities and Street Improvement Details, See Civil Dwgs.
3. For Landscape Materials, See Landscape Material Plans.
4. 3" of Mulch Applied on all Exposed Planting Surfaces.
5. Compost At a Minimum Rate of 4 cy per 1000 sf of Permeable Area, to a Depth of 6".
6. Street Trees Shown on This Permit Are Conceptual. A DOT Street Tree Planting Permit Is Required..



**STANDARD TREE PLANTING**

DETAIL

**2**  
3/4" = 1' - 0"

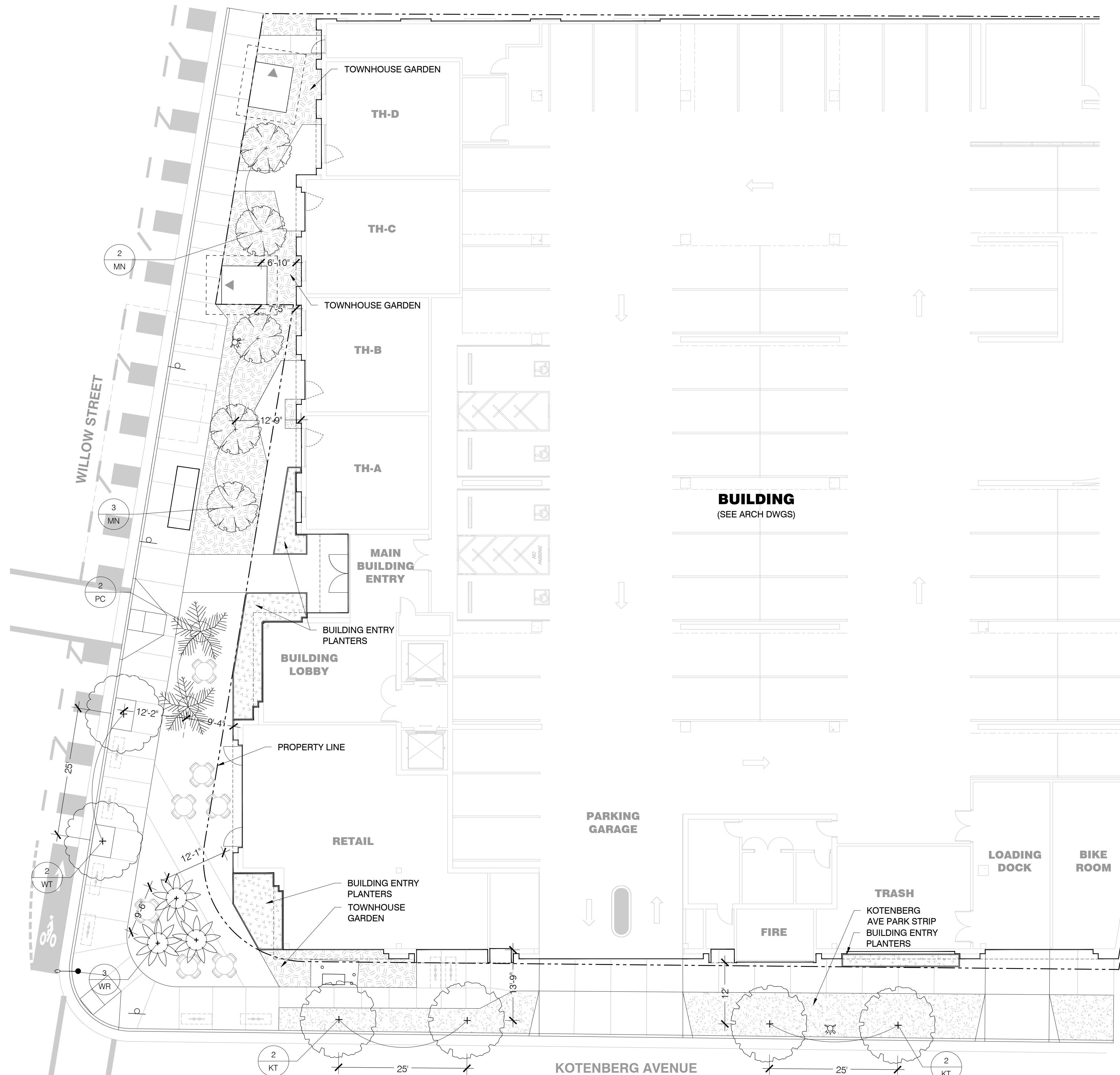
TREES						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
WT		<i>Willow Street Tree Per City Arborist (Medium Size Tree)</i>	2	36" Box	25' O.C. As Shown	12' Min. Distance From Building Face
KT		<i>Kotenberg Ave Tree Per City Arborist (Medium Size Tree)</i>	4	36" Box	25' O.C. As Shown	12' Min. Distance From Building Face
MN		<i>Melaleuca nesophila (Small Size Tree)</i> Pink Melaleuca	6	24" Box	As Shown	5' Min. Distance From Building Face
PC		<i>Phoenix canariensis (Small Size Tree)</i> Canary Island date palm	2	8" Brown Trunk	As shown	5' Min. Distance From Building Face
WR		<i>Washingtonia robusta (Small Size Tree)</i> Mexican Fan Palm	3	8" Brown Trunk	As shown	5' Min. Distance From Building Face

WILLOW ST & KOTENBERG AVE PARK STRIP						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
LL		<i>Lomandra longifolia 'Breeze'</i> Dwarf Mat Rush	--	1 Gal	24" O.C.	
DI		<i>Diets iridioides</i> African Iris	--	1 Gal	30" O.C.	

TOWN HOME GARDENS						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
FR		<i>Festuca rubra 'Molate'</i> Red Fescue	--	1 Gal	18" O.C.	
EK		<i>Erigeron karvinskianus</i> Santa Barbara Daisy	--	1 Gal	24" O.C.	
WF		<i>Westringia fruticosa 'Grey Box'</i> Dwarf Coastal Rosemary	--	15 Gal	48" O.C.	
NC		<i>Nephrolepis cordifolia</i> California Sword Fern	--	1 Gal	30" O.C.	
WI		<i>Woodwardia fimbriata</i> Giant Chain Fern	--	5 Gal	30" O.C.	
CS		<i>Cistus sp.</i> Rock Rose	--	15 Gal	48" O.C.	

BUILDING ENTRY PLANTERS						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
AD		<i>Asparagus densiflorus 'Meyers'</i> Meyers Asparagus Fern	--	5 Gal	24" O.C.	
EL		<i>Erigeron karvinskianus</i> Santa Barbara Daisy	--	1 Gal	24" O.C.	

EXISTING TREES & MITIGATION					
NO.	SPECIES	NATIVE / NON-NATIVE	SIZE	STATUS	REPLACEMENT
1	<i>Pinus</i> TBD	NON-NATIVE	24" DIA	TO BE REMOVED	4:1
2	<i>Pinus</i> TBD	NON-NATIVE	36" DIA	TO BE REMOVED	4:1



**PLANTING PLAN - GROUND LEVEL**

PLAN

**1**  
3/32" = 1' - 0"



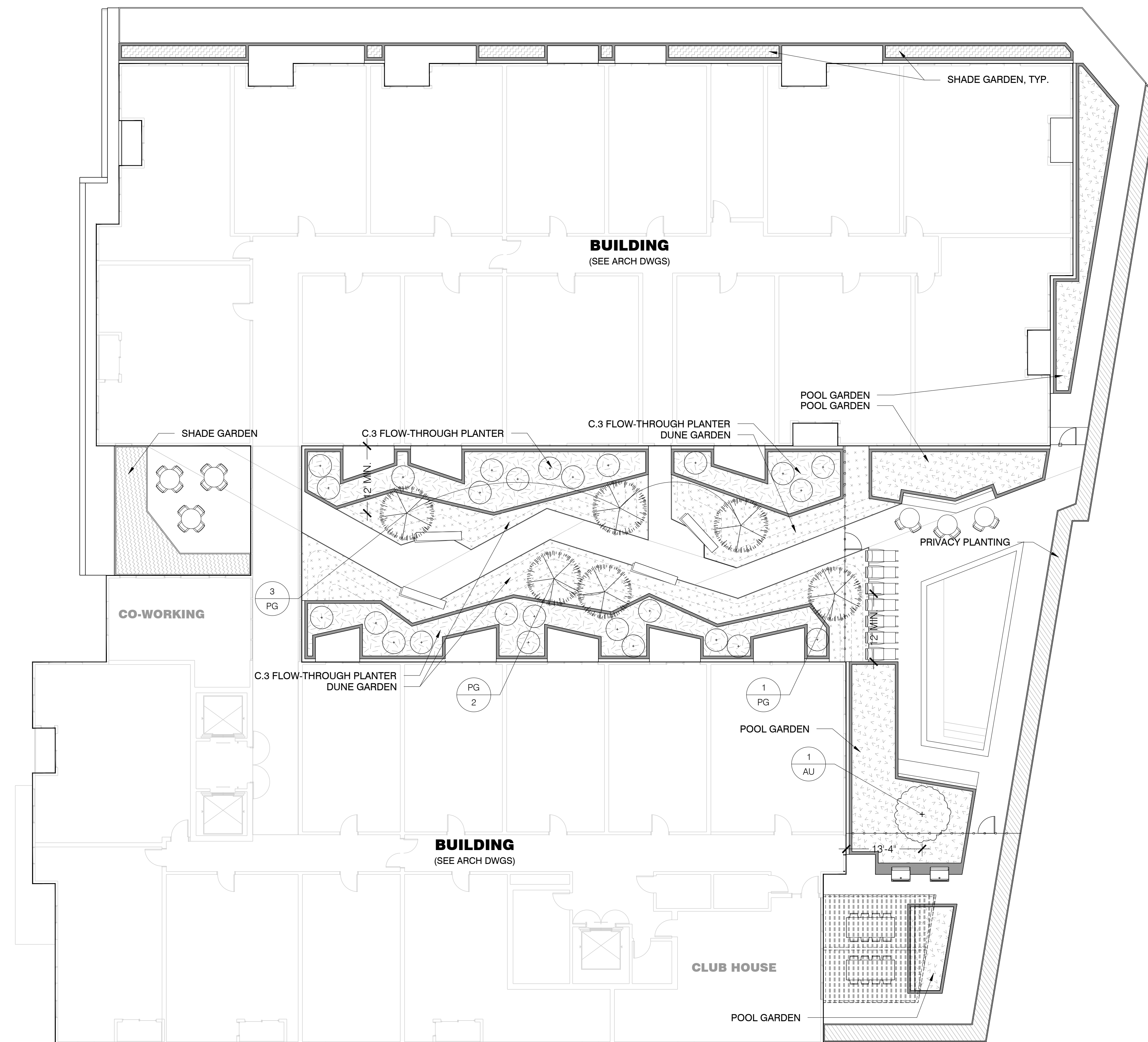
**STUDIO  
current**  
URBAN DESIGN + ARCHITECTURE  
96 N. Third Street, Suite 110, San Jose, CA, 95112  
T. 408.816.2000 www.studiocurrent.com

**NOTES:**

1. For Building Details, See Arch Dwgs.
2. For Utilities and Street Improvement Details, See Civil Dwgs.
3. For Landscape Materials, See Landscape Material Plans.
4. 3" of Mulch Applied on All Exposed Planting Surfaces.
5. Compost at a Minimum Rate of 4 cy per 1000 sf of Permeable Area, to a Depth of 6".
6. "Provide a Minimum Soil Depth of 36 Inches and Soil Volume For Each Tree".

Project:  
**940 Willow Street**  
Mixed Use Proposal

Consultant  
**SAW**  
SAW // SPIEGEL AHARA WORKSHOP  
2325 3rd St. #216 // San Francisco, CA 94107  
studio@sa-works.com // 415.993.4729  
www.s-a-works.com

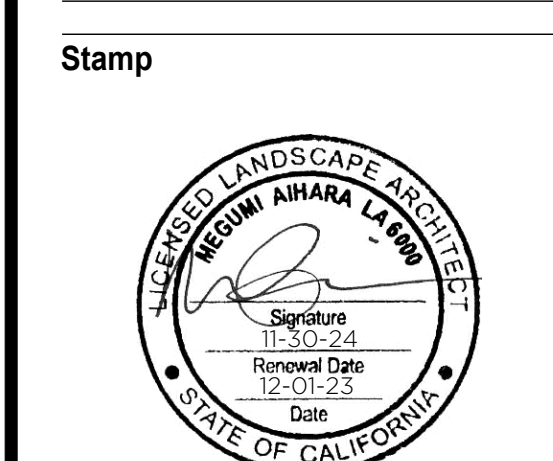


TREES						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	PG	<i>Podocarpus gracilior</i> Fern Pine	6	36" Box	As Shown	Standard Tree Form
	AU	<i>Arbutus unedo</i> Dwarf Strawberry Tree	1	36" Box	As Shown	Multi-stem Form
PODIUM PLANTING						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
DUNE GARDENS						
	LL	<i>Lomandra longifolia</i> 'Platinum Beauty' Platinum Beauty Dwarf Mat Rush	--	1 or 5 Gal	15" O.C.	
	PH	<i>Penstemon heterophyllus</i> 'Margarita BOP' Margarita BOP Penstemon	--	1 or 5 Gal	15" O.C.	
	AS	<i>Adenanthos sericeus</i> Woolly Bush	--	15 Gal	5" O.C.	
	EK	<i>Erigeron karvinskianus</i> Santa Barbara Daisy	--	1 or 5 Gal	12" O.C.	
	NC	<i>Nephrolepis cordifolia</i> California Sword Fern	--	1 or 5 Gal	30" O.C.	
	WG	<i>Woodwardia fimbriata</i> Giant Chain Fern	--	1 or 5 Gal	30" O.C.	
SHADE GARDEN						
	CM	<i>Clivia miniata</i> Bush Lily	--	1 or 5 Gal	15" O.C.	
	NC	<i>Nephrolepis cordifolia</i> California Sword Fern	--	1 or 5 Gal	30" O.C.	
	WF	<i>Woodwardia fimbriata</i> Giant Chain Fern	--	1 or 5 Gal	30" O.C.	
POOL GARDEN						
	LL	<i>Lomandra longifolia</i> 'Platinum Beauty' Platinum Beauty Dwarf Mat Rush	--	1 or 5 Gal	15" O.C.	
	AI	<i>Anigozanthos</i> 'Big Red' Big Red Kangaroo Paws	--	1 or 5 Gal	30" O.C.	
	AB	<i>Anigozanthos</i> 'Bush Dawn' Yellow Kangaroo Paws	--	1 or 5 Gal	30" O.C.	
	LS	<i>Leucadendron</i> 'Safari Sunset' Safari Sunset Leucadendron	--	15 Gal	5" O.C.	
	LV	<i>Leucospermum</i> 'Veldfire' Veldfire Pincushion	--	15 Gal	5" O.C.	
	AH	<i>Agave shawii x attenuata</i> 'Blue Flame' Agave 'Blue Flame'	--	15 Gal	5" O.C.	
PRIVACY PLANTING						
	PT	<i>Pittosporum tenuifolium</i> 'Silver Sheen' Silver Sheen Kohuhu	--	15 Gal	36" O.C.	
C.3 FLOW THROUGH PLANTER - STORMWATER GARDEN						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	AA	<i>Arctostaphylos densiflora</i> 'Howard McMinn' Howard McMinn Manzanita	--	15 Gal	5" O.C.	All Species Approved for Flow-Through Planter Treatment Type in Santa Clara County C.3 Guidelines
	AC	<i>Verbena ilacina</i> 'De La Mina' Cedros Island Verbena	--	5 Gal	30" O.C.	
	CS	<i>Muhlenbergia rigens</i> Deer Grass	--	1 or 5 Gal	15" O.C.	
	AN	<i>Chondropetalum elephantinum</i> Cape Rush	--	1 or 5 Gal	30" O.C.	
	CA	<i>Iris douglasiana</i> Douglas Iris	--	1 or 5 Gal	15" O.C.	
	CP	<i>Heuchera maxima</i> Island Alum Root	--	1 or 5 Gal	15" O.C.	
	DC	<i>Guara lindheimeri</i> 'Whirling Butterfly' White Gaura	--	1 or 5 Gal	30" O.C.	

**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023



Sheet Information

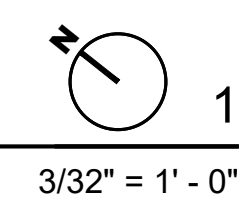
Issue Date	12/01/23
Job Number	230801
Drawn	AS
Checked	MA
Approved	MA
Scale	3/32" = 1'-0"

Sheet Title  
**PLANTING PLAN -**  
**LEVEL 3**

**031-L**

PLANTING PLAN - LEVEL 3

PLAN



3/32" = 1' - 0"



**STUDIO**  
**current**  
URBAN DESIGN + ARCHITECTURE  
96 N. Third Street, Suite 110, San Jose, CA, 95112  
T. 408.816.2000 www.studiocurrent.com

**NOTES:**

1. For Building Details, See Arch Dwgs.
2. For Utilities and Street Improvement Details, See Civil Dwgs.
3. For Landscape Materials, See Landscape Material Plans.
4. 3" of mulch applied on all exposed planting surfaces.
5. Compost at a minimum rate of 4 cy per 1000 sf of permeable area, to a depth of 6".
6. "Provide a minimum soil depth of 36 inches and soil volume for each tree".

Project:

**940 Willow Street**

Mixed Use Proposal

Consultant

**SAW**

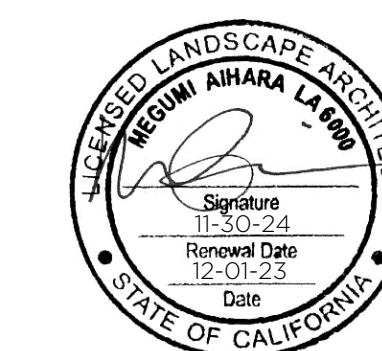
SAW // SPIEGEL AHARA WORKSHOP  
2325 3rd St. #216 // San Francisco, CA 94107  
studio-a-works.com // 415.993.4729  
www.s-a-works.com

**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



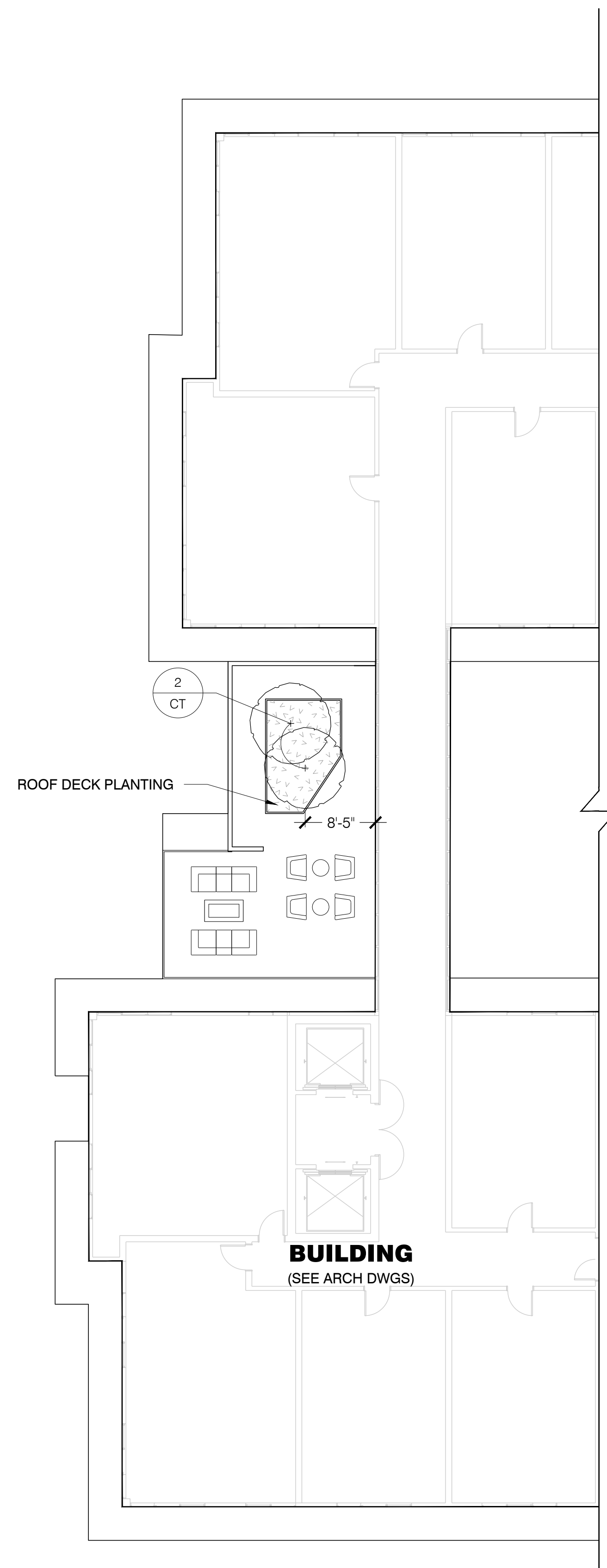
Sheet Information

Issue Date	12/01/23
Job Number	230801
Drawn	AS
Checked	MA
Approved	MA
Scale	3/32" = 1'-0"

Sheet Title

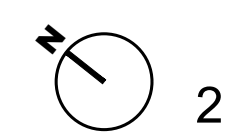
PLANTING PLAN -  
LEVELS 6 & 7

**032-L**

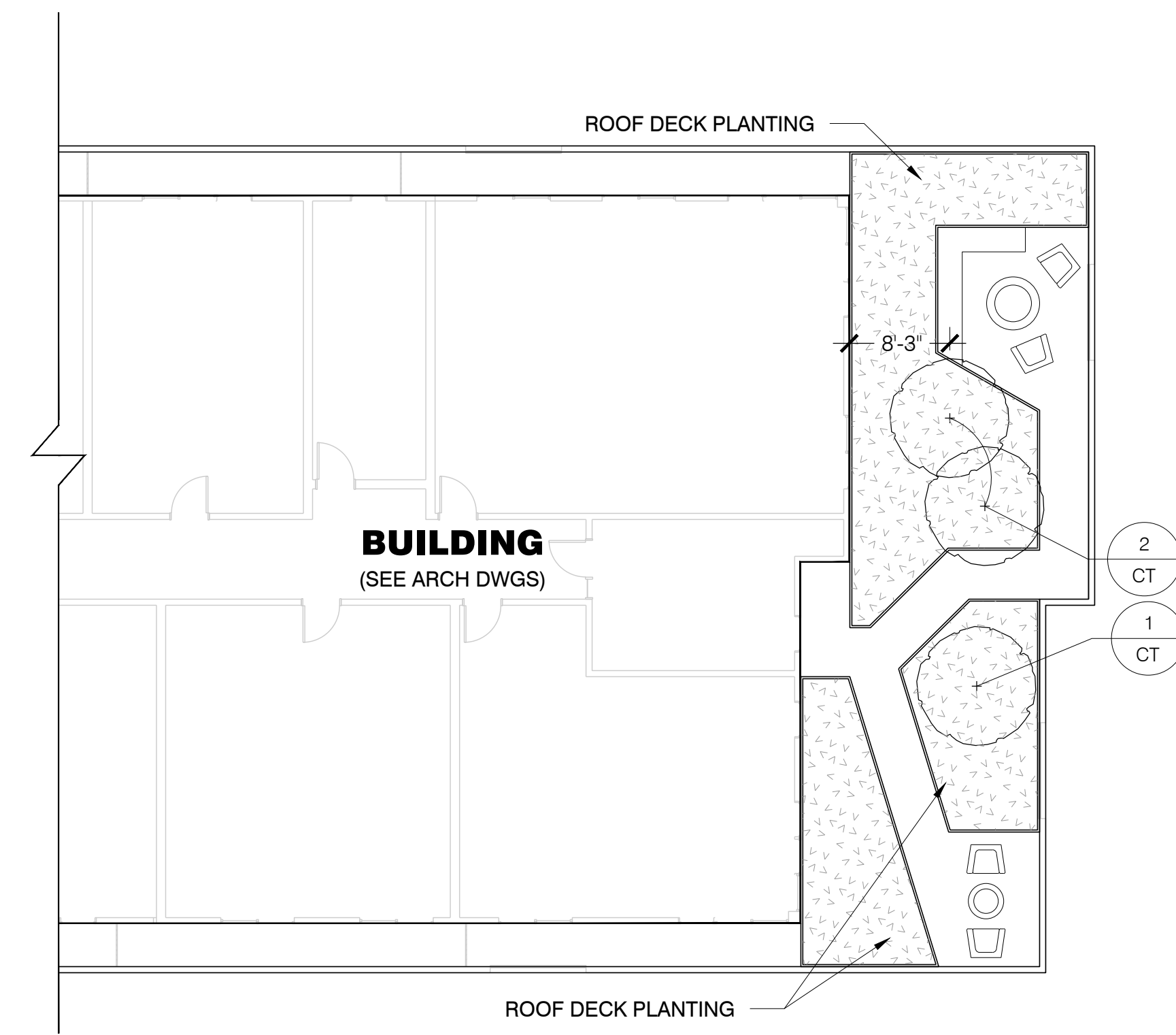


PLANTING PLAN - LEVEL 7

PLAN

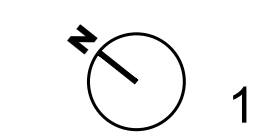


3/32" = 1' - 0"



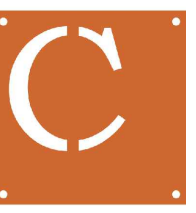
PLANTING PLAN - LEVEL 6

PLAN



3/32" = 1' - 0"

TREES						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	CT	<i>Chitalpa tashkentensis</i> 'Morning Cloud' Morning Cloud Chitalpa	5	36" Box	30" O.C. As Shown	SMALL TREE
ROOF DECK						
SYMBOL	KEY	SPECIES	QTY	SIZE	SPACING	NOTES
	MC	<i>Muhlenbergia capillaris</i> Pink Muhly Grass	--	1 Gal	18" O.C.	
	BG	<i>Bouteloua gracilis</i> 'Blonde Ambition' Blue Grama Grass	--	1 Gal	18" O.C.	
	YD	<i>Yucca desmetiana</i> 'Blue Boy' Blue Boy Yucca	--	15 Gal	40" O.C.	
	LD	<i>Leucadendron discolor</i> 'Pom Pom' Pom Pom Leucadendron	--	15 Gal	40" O.C.	



Project:  
**940 Willow Street**  
Mixed Use Proposal

Consultant  
**SAW**

SAW // SPIEGEL AHARA WORKSHOP  
2325 3rd St. #216 // San Francisco, CA 94107  
studio@sa-works.com // 415.993.4729  
www.sa-works.com

**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

Revision

No.	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



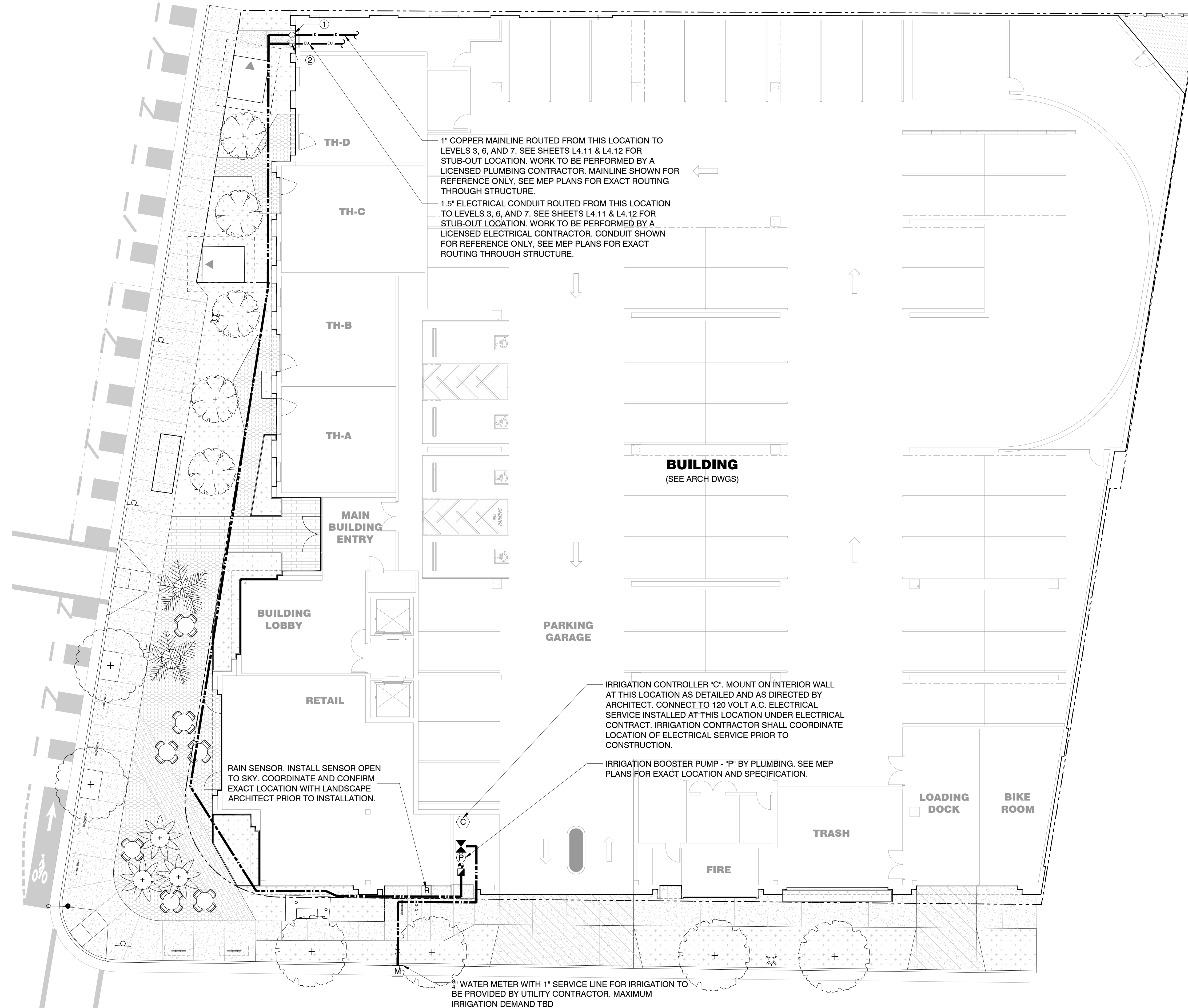
Sheet Information

Issue Date	12/01/23
Job Number	230801
Drawn	AS
Checked	MA
Approved	MA
Scale	3/32" = 1'-0"

Sheet Title

IRRIGATION PLAN -  
GROUND LEVEL

033-I



IRRIGATION PLAN - GROUND LEVEL

PLAN

**FOR PLANNING AND DIAGRAMMATIC PURPOSES ONLY**

**NOTES:**

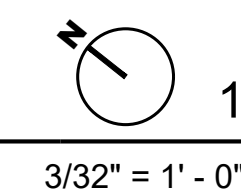
- ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLES AS DETAILED.
- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPE CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF THE HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- UNSIZE LATERAL LINE PIPING LOCATION DOWN STREAM OF 1" PIPING SHALL BE 3/8" IN SIZE (TYPICAL).
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:  

.75"	0 - 6 GPM
1"	7 - 12 GPM
1.25"	13 - 20 GPM
- SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:  

.75"	0 - 500 FT
1"	501 - 1100 FT
1.25"	1101 - 2000 FT
1.5"	2001 - 3000 FT

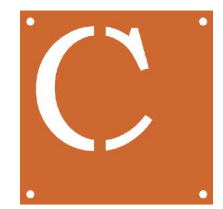
**IRRIGATION KEY:**

- 1" COPPER PIPE STUB-OUT FOR IRRIGATION TO BE PROVIDED AND INSTALLED IN-STRUCTURE UNDER PLUMBING CONTRACT WORK BY A LICENSE PLUMBING/ CONTRACTOR(S) PRIOR TO CONSTRUCTION. EXIT OF PIPE FROM STRUCTURE TO BE 8" DEEP FROM TOP OF FINISHED GRADE. PROVIDE A MINIMUM 40 PSI AND A MAXIMUM OF 65 PSI AT STUB-OUT LOCATION.
- 1.5" ELECTRICAL CONDUIT AND WITH PULL CORD, PULL BOXES, AND SWEEP FITTINGS FOR LOW-VOLTAGE IRRIGATION CONTROL WIRE ROUTED TO THE SUB-OUT LOCATION TO BE PROVIDED AND INSTALLED FROM IRRIGATION CONTROLLER "C" TO THIS LOCATION UNDER ELECTRICAL CONTRACT WORK BY A LICENSED ELECTRICAL CONTRACTOR. COORDINATE INSTALLATION OF CONDUIT WITH GENERAL/ELECTRICAL CONTRACTOR(S) PRIOR TO CONSTRUCTION.



3/32" = 1' - 0"





Project:  
**940 Willow Street**  
Mixed Use Proposal

Consultant  
**SAW**  
SAW // SPIEGEL AHARA WORKSHOP  
2325 3rd St. #216 // San Francisco, CA 94107  
studio@sa-works.com // 415.993.4729  
www.sa-works.com

**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

Revision

No.	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

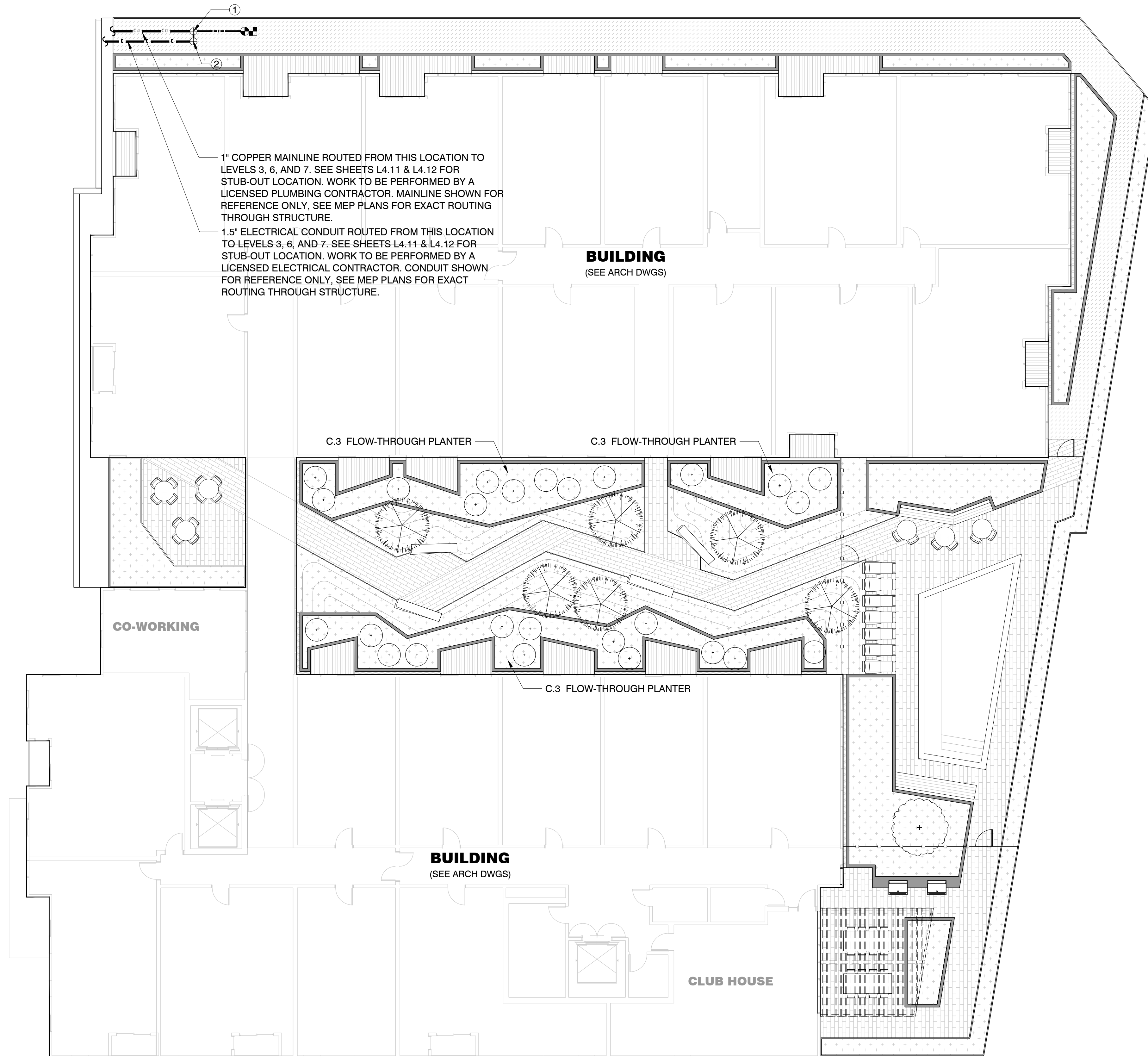
Stamp

Sheet Information

Issue Date	12/01/23
Job Number	230801
Drawn	AS
Checked	MA
Approved	MA
Scale	3/32" = 1'-0"

Sheet Title  
**IRRIGATION PLAN -  
LEVEL THREE**

**034-I**



**FOR PLANNING AND DIAGRAMMATIC PURPOSES ONLY**

**NOTES:**

- ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLES AS DETAILED.
- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPE CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF THE HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- UNSIIZED LATERAL LINE PIPING LOCATION DOWN STREAM OF 1" PIPING SHALL BE 3/8" IN SIZE (TYPICAL).
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

.75"	0 - 6 GPM
1"	7 - 12 GPM
1.25"	13 - 20 GPM
- SIZING OF LATERAL PIPE FOR DRILINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:

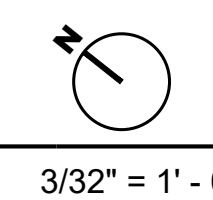
.75"	0 - 500 FT
1"	501 - 1100 FT
1.25"	1101 - 2000 FT
1.5"	2001 - 3000 FT

**IRRIGATION KEY:**

- 1" COPPER PIPE STUB-OUT FOR IRRIGATION TO BE PROVIDED AND INSTALLED IN-STRUCTURE UNDER PLUMBING CONTRACT WORK BY A LICENSE PLUMBING/ CONTRACTOR(S) PRIOR TO CONSTRUCTION. EXIT OF PIPE FROM STRUCTURE TO BE 8" DEEP FROM TOP OF FINISHED GRADE. PROVIDE A MINIMUM 40 PSI AND A MAXIMUM OF 65 PSI AT STUB-OUT LOCATION.
- 1.5" ELECTRICAL CONDUIT AND WITH PULL CORD, PULL BOXES, AND SWEEP FITTINGS FOR LOW-VOLTAGE IRRIGATION CONTROL WIRE ROUTED TO THE SUB-OUT LOCATION TO BE PROVIDED AND INSTALLED FROM IRRIGATION CONTROLLER "C" TO THIS LOCATION UNDER ELECTRICAL CONTRACT WORK BY A LICENSED ELECTRICAL CONTRACTOR. COORDINATE INSTALLATION OF CONDUIT WITH GENERAL/ELECTRICAL CONTRACTOR(S) PRIOR TO CONSTRUCTION.

IRRIGATION PLAN - LEVEL 3

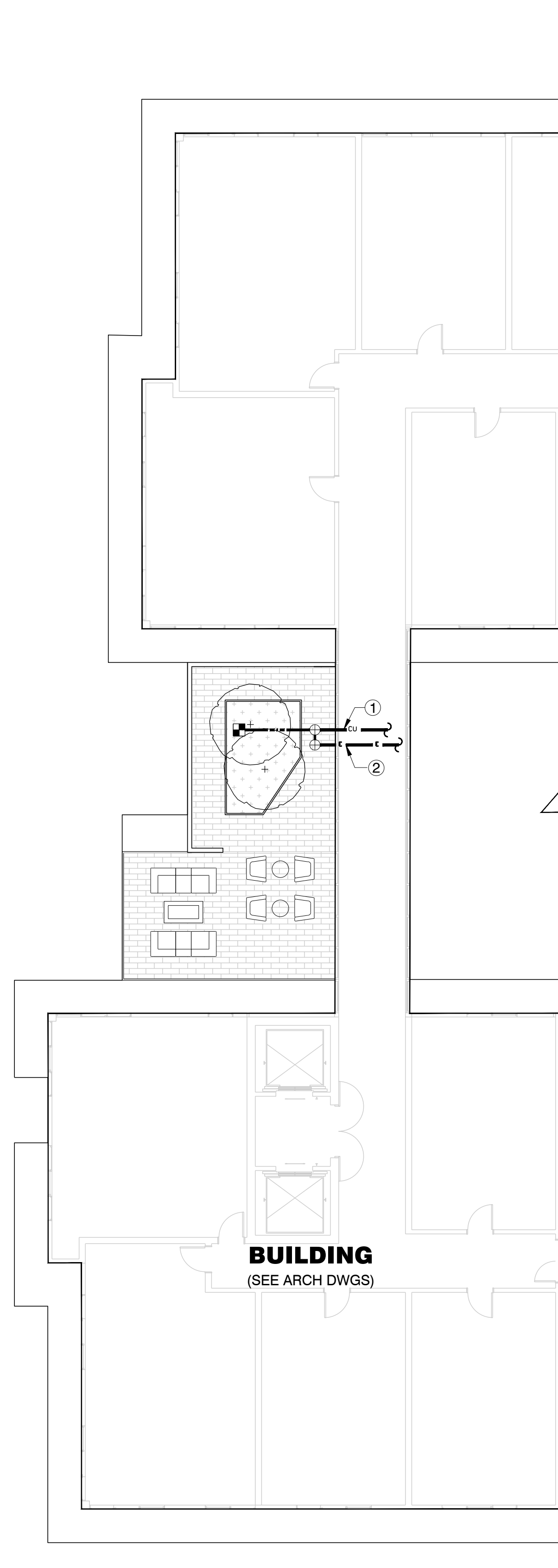
PLAN





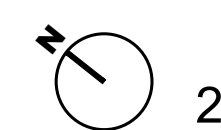
Project:  
**940 Willow Street**  
Mixed Use Proposal

Consultant  
**SAW**  
SAW // SPIEGEL AHARA WORKSHOP  
2325 3rd St #216 // San Francisco, CA 94107  
studio-a-works.com // 415.993.4729  
www.s-a-works.com

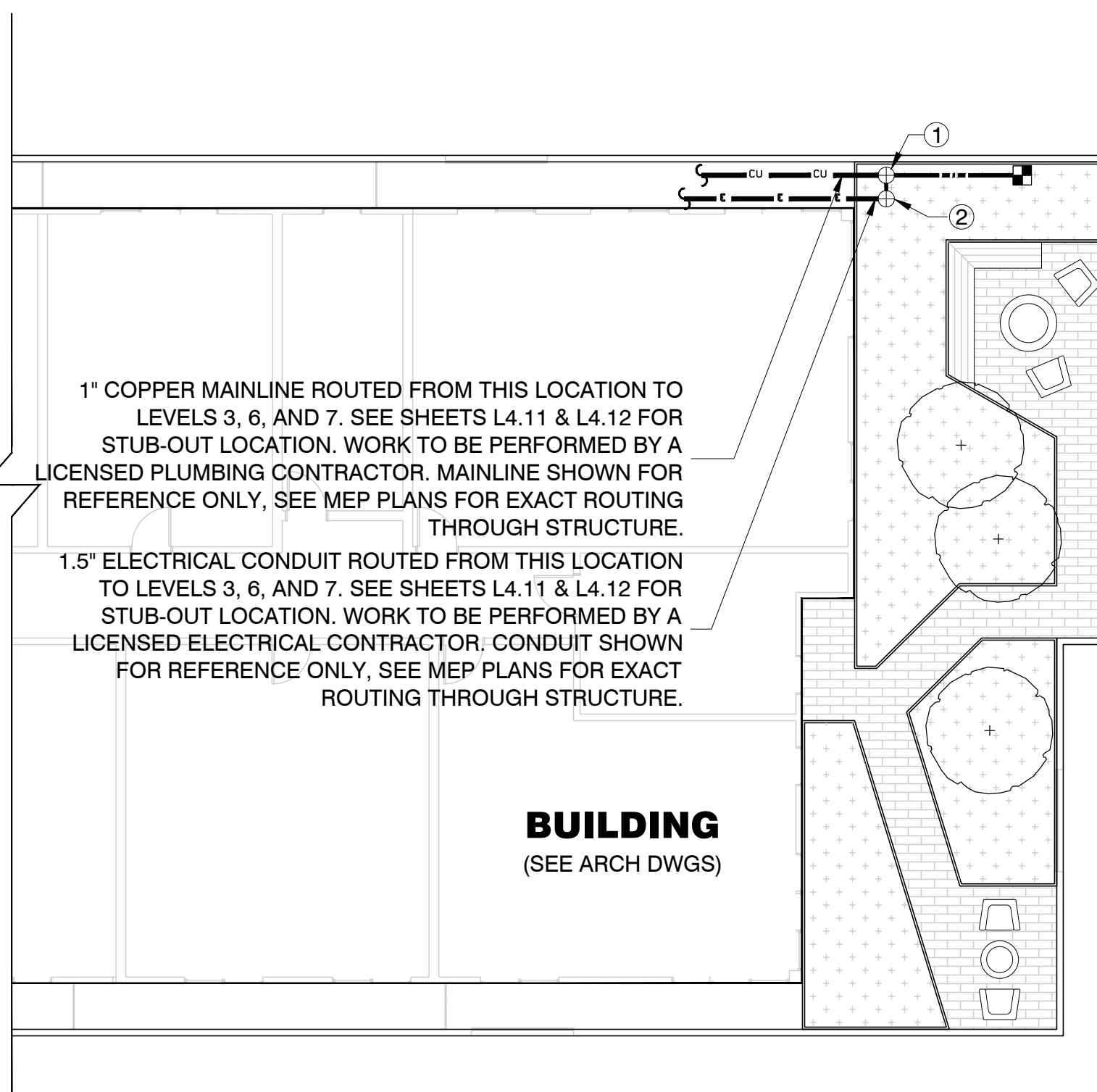


IRRIGATION PLAN - LEVEL 7

PLAN

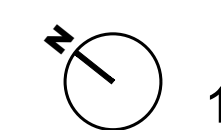


3/32" = 1' - 0"



IRRIGATION PLAN - LEVEL 6

PLAN



3/32" = 1' - 0"

1" COPPER MAINLINE ROUTED FROM THIS LOCATION TO LEVELS 3, 6, AND 7. SEE SHEETS L4.11 & L4.12 FOR STUB-OUT LOCATION. WORK TO BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR. MAINLINE SHOWN FOR REFERENCE ONLY. SEE MEP PLANS FOR EXACT ROUTING THROUGH STRUCTURE.

1.5" ELECTRICAL CONDUIT ROUTED FROM THIS LOCATION TO LEVELS 3, 6, AND 7. SEE SHEETS L4.11 & L4.12 FOR STUB-OUT LOCATION. WORK TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR. CONDUIT SHOWN FOR REFERENCE ONLY. SEE MEP PLANS FOR EXACT ROUTING THROUGH STRUCTURE.

**BUILDING**  
(SEE ARCH DWGS)

**BUILDING**  
(SEE ARCH DWGS)

**FOR PLANNING AND DIAGRAMMATIC PURPOSES ONLY**

**NOTES:**

- ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLES AS DETAILED.
- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPE CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF THE HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- UNSIZE LATERAL LINE PIPING LOCATION DOWN STREAM OF 1" PIPING SHALL BE 3/8" IN SIZE (TYPICAL).
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:  

.75"	0 - 6 GPM
1"	7 - 12 GPM
1.25"	13 - 20 GPM
- SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:  

.75"	0 - 500 FT
1"	501 - 1100 FT
1.25"	1101 - 2000 FT
1.5"	2001 - 3000 FT

**IRRIGATION KEY:**

- 1" COPPER PIPE STUB-OUT FOR IRRIGATION TO BE PROVIDED AND INSTALLED IN-STRUCTURE UNDER PLUMBING CONTRACT WORK BY A LICENSE PLUMBING/ CONTRACTOR(S) PRIOR TO CONSTRUCTION. EXIT OF PIPE FROM STRUCTURE TO BE 8" DEEP FROM TOP OF FINISHED GRADE. PROVIDE A MINIMUM 40 PSI AND A MAXIMUM OF 65 PSI AT STUB-OUT LOCATION.
- 1.5" ELECTRICAL CONDUIT AND WITH PULL CORD, PULL BOXES, AND SWEEP FITTINGS FOR LOW-VOLTAGE IRRIGATION CONTROL WIRE ROUTED TO THE SUB-OUT LOCATION TO BE PROVIDED AND INSTALLED FROM IRRIGATION CONTROLLER "C" TO THIS LOCATION UNDER ELECTRICAL CONTRACT WORK BY A LICENSED ELECTRICAL CONTRACTOR. COORDINATE INSTALLATION OF CONDUIT WITH GENERAL/ELECTRICAL CONTRACTOR(S) PRIOR TO CONSTRUCTION.

**H23-030**  
**SITE DEVELOPMENT**  
**PERMIT**

Revision

No	Date
SITE DEVELOPMENT	10.05.2023
REVISION 1	12.01.2023

Stamp



Sheet Information

Issue Date	12/01/23
Job Number	230801
Drawn	AS
Checked	MA
Approved	MA
Scale	3/32" = 1'-0"

Sheet Title

IRRIGATION PLAN -  
LEVELS 6 & 7

**035-I**